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CITY OF BANNING and SHERI FLYNN

UNITED STATES DISTRICT COURT
CENTRAL DISTRICT OF CALIFORNIA, EASTERN DIVISION

SUN LAKES HIGHLAND, LLC, a
Delaware limited liability company,

Petitioner and Plaintiff,

v.

CITY OF BANNING, a municipal
corporation; SHERI FLYNN, an
individual; and DOES 1 through 10,
inclusive,

Respondents and
Defendants.

Case No. 5:24-cv-02603-DTB

VOLUME 2 PART 1 OF THE
ADMINISTRATIVE RECORD OF
PROCEEDINGS

Date: May 29, 2025 (Off Calendar)
Time: 10:00 a.m.
Crtrm.: 4
Judge: Hon. David T. Bristow

Action Filed: December 6, 2024
Second Amended Petition Filed: March
31, 2025

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
1.		DR 21-7008 Aerial base Map	1	AR000001
2.		DR 21-7008 Development Opportunities Map	1	AR000002
3.		DR 21-7008 Vicinity Map	1	AR000003
4.		DR 21-7008 Zoning Map	1	AR000004
5.	Various	News Articles, Social Media Posts, Text Messages	1	AR000005
6.		Site Photos	1	AR000095
7.	June 3, 2011	Draft Environmental Impact Report – Butterfield Specific Plan	1	AR000097
8.	December 2011	Final Environmental Impact Report – Butterfield Specific Plan	1	AR000944
9.	June 2016	Rancho San Geronio Specific Plan Draft Environmental Impact Report	1	AR001433
10.	November 2018	Final Environmental Impact Report – Banning Distribution Center	1	AR002112
11.	November 13, 2019	Rendering Concept 5 – North Entry View	1	AR002328
12.	December 29, 2019	CLTA Preliminary Title Report	1	AR002329
13.	December 29, 2019	CLTA Preliminary Title Report (Redlines)	1	AR002343
14.	February 21, 2020	Notice of Preparation of an Environmental Impact Report and Scoping Meeting for Sun Lakes Village North Specific Plan Amendment No. 6 Attachments: Figure 1. Project Location Map/Aerial Photo Figure 2. Proposed Land Use Plan February 18, 2020 Initial Study Sun Lakes Village North Specific Plan Amendment No. 6	1	AR002357
15.	September 9, 2020	Sun Lakes Village North Specific Plan Amendment No. 5 Draft Environmental Impact Report SCH No. 2020029074 <ul style="list-style-type: none"> Appendix A- Notice of Preparation, Initial Study, Comment Letters Appendix B- Air Quality and Greenhouse Gas Evaluation 	1	AR002429

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		<ul style="list-style-type: none"> • Appendix C- Emissions from Alternatives • Appendix D- Habitat Assessment • Appendix E- Cultural Resources Records Search • Appendix F-Phase I Cultural Resources Assessment • Appendix G- Noise Monitoring • Appendix H- Traffic Analysis • Appendix I- Vehicle Miles Traveled (VMT) Analysis • Appendix J- Water Supply Assessment 		
16.	September 10, 2020	Notice of Completion & Environmental Document Transmittal	1	AR003665
17.	September 11, 2020	Notice of Availability of Draft Environmental Impact Report	1	AR004166
18.	October 20, 2020	Notice of Public Hearing for PC Meeting of November 4, 2020	1	AR004169
19.	October 28, 2020	Sun Lakes Village North Specific Plan Amendment No. 5 Final Environmental Impact Report SCH No. 2020029074	1	AR004172
20.	November 4, 2020	Planning Commission Meeting Agenda Planning Commission Staff Report Attachments: <ol style="list-style-type: none"> 1. Resolution 2020-21 with Conditions of Approval 2. Resolution 2020-22 3. Specific Plan Amendment No. 5 4. Draft EIR North Specific Plan Amendment No. 5 5. Final EIR North Specific Plan Amendment No. 5 Public Hearing Notice 	1	AR004227
21.	November 4, 2020	Resolution 2020-21: Resolution of the Planning Commission of the City	1	AR005711

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		of Banning, California, Recommending that the City Council Adopt the Sun Lakes Village North Specific Plan Amendment 5 (Specific Plan Amendment No. 20-2001); Approve Zone Change No. 20-3501 to Amend the Zoning Ordinance Text; and Certify the Final Environmental Impact Report (SCH No. 2020029074) (Environmental Assessment No. 201502) and Adopt Findings of Fact, A Statement of Overriding Considerations, and a Mitigation Monitoring and Reporting Program		
22.	November 4, 2020	Resolution 2020-22 [Unsigned version]	1	AR005734
23.	November 4, 2020	Resolution 2020-22: A Resolution of the Planning Commission of the City of Banning Recommending that the City Council of the City Banning Certify an Environmental Impact Report and Adopt a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program for a Specific Plan Amendment of approximately 47 Gross Acres Located between Sun Lakes Boulevard and Interstate 10 Approximately 840 Feet East of Highland Springs Avenue. The Project Site is also Identified as Assessor's Parcel Number 419-140- 057 to Update the Existing Specific Plan Document to Amend the Specific Plan Land Use Plan from Retail Commercial (Auto Dealer) to Business Park & Warehouse (BW), Office & Professional (OP), and Retail & Service (RS). The Specific Plan is also Proposed to be Amended to Revise the Permitted Land Uses; Development Standards (Including	1	AR005837

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		Maximum Building Height, Setbacks, Open Space, Landscaping, Parking, and Signage); Design Guidelines for Development; and Administration and Implementation Provisions, and Approve Specific Plan Amendment No. 20-2001, Zone Change No. 20-3501, Environmental Assessment No. 20-1502.		
24.	November 20, 2020	Notice of Public Hearing for CC Meeting of December 8, 2020	1	AR005941
25.	December 8, 2020	<p>City Council Meeting Agenda City Council Report Attachments:</p> <ol style="list-style-type: none"> 1. Resolution 2020-141 2. Ordinance 1571 3. Sun Lakes Village Specific Plan Amendment 5 4. Public Hearing Notice 5. Draft Environmental Impact Report 6. Final Environmental Impact Report (EIR) <ol style="list-style-type: none"> a. Administrative Response to Lake Comment Letter b. Comments on Final EIR c. Supplemental Comments on Final EIR 	1	AR005944
26.	December 8, 2020	Resolution 2020-141: A Resolution of the City Council of the City of Banning Recommending that the City Council of the City Banning Certify an Environmental Impact Report and Adopt a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program for a Specific Plan Amendment of Approximately 47 Gross Acres Located between Sun Lakes Boulevard And Interstate 10 Approximately 840 Feet East of Highland Springs Avenue. The Project Site is also identified as assessor's parcel number 419-140-057	1	AR007742

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		to update the existing specific plan document to amend the specific plan land use plan from retail commercial (auto dealer) to business park & warehouse (BW), office & professional (OP), AND retail & service (RS). The Specific Plan is also Proposed to be Amended to Revise the Permitted Land Uses; Development Standards (Including Maximum Building Height, Setbacks, Open Space, Landscaping, Parking, and Signage); Design Guidelines For Development; and Administration And Implementation Provisions, and Approve Specific Plan Amendment No. 20-2001, Zone Change No. 20-3501, Environmental Assessment No. 20-1502.		
27.	December 8, 2020	Resolution 2020-141[Unsigned version]	1	AR007856
28.	December 2, 2020 – December 9, 2020	Bulk Emails regarding environmental clean-up and demolition with City and A. Chacon, S. Kukett and G. Hill	1	AR007971
29.	January 12, 2021	Ordinance No. 1571 [Unsigned version]	1	AR008029
30.	January 12, 2021	Ordinance No. 1571: An Ordinance Of The City Council Of The City Of Banning, California, Approving Zone Change No. 20-3501 To Amend The Zoning Ordinance To Incorporate The Text Of The Sun Lakes Village North Specific Plan Amendment 5 (Specific Plan Amendment No. 20-2001) Into The Zoning Ordinance	1	AR008035
31.	January 25, 2021	Renderings Concept 5 – North Entry View (Retail)	1	AR008042
32.	January 4, 2021 - January 27, 2021	Bulk Emails regarding proposed project and dedications for street widening, sign diversion with Thienes Engineering, Inc.	1	AR008048
33.	January 29, 2021	Public Hearing Notice Certificate of Mailing	1	AR008080

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34.	February 2, 2021 - February 22, 2021	Bulk Emails regarding November publication notices and invoices from Record Gazette to City	1	AR008083
35.	March 10, 2021	Geotechnical Investigation Proposed Banning Point Development	1	AR008410
36.	March 10, 2021	Geotechnical Investigation Proposed Banning Point Development(Redlines)	1	AR008474
37.	March 19, 2021	Conceptual Colored Elevations and Material Board	1	AR008540
38.	March 30, 2021	Infiltration Report	1	AR008547
39.	March 30, 2021	Infiltration Report (Redlines)	1	AR008577
40.	April 8, 2021	Preliminary Landscape Plan	1	AR008607
41.	April 16, 2021	Conceptual Grading Plan	1	AR008608
42.	April 16, 2021	Conceptual Grading Plan (Redlines)	1	AR008611
43.	April 16, 2021	Conceptual Grading Plan (Response)	1	AR008614
44.	April 16, 2021	Preliminary Hydrology Report	1	AR008618
45.	April 16, 2021	Preliminary Hydrology Report (Redlined)	1	AR008757
46.	April 19, 2021	Tentative Parcel Map No. 38164	1	AR008897
47.	April 19, 2021	Tentative Parcel Map No. 38164 (Redlines)	1	AR008898
48.	April 19, 2021	Water Quality Management Plan	1	AR008899
49.	April 19, 2021	Water Quality Management Plan (Redlined PC1 Draft PWQMP)	1	AR009093
50.	April 19, 2021	Water Quality Management Plan (Redlined PC2 Draft PWQMP)	1	AR009288
51.	April 20, 2021	Banning Point Preliminary Landscape Plan	1	AR009556
52.	April 29, 2021	Conceptual Colored Elevations and Material Board	1	AR009557
53.	April 25, 2021 - April 30, 2021	Bulk Emails regarding Costco follow-up from James Wurts and ECK Corp.	1	AR009559
54.	April 30, 2021	Overall Site Plan with comments	1	AR009618
55.	April 30, 2021	Overall Site Plans	1	AR009619
56.	April 30, 2021	Plans – Architectural Set	1	AR009630
57.	May 18, 2021	Property Owners Certification Form and GIS Mailing Labels	1	AR009646
58.	May 27, 2021	MIG Submittal Letter to Planning Department	1	AR009656
59.	May 27, 2021	Project Description	1	AR009657
60.	May 27, 2021	Uniform Development Application	1	AR009662

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61.	May 5, 2021 - May 28, 2021	Bulk Emails regarding labor workforce statistics for City of Banning between G. Kingston and J. Wurtz	1	AR009669
62.	June 9, 2021	Design Review Transmittal	1	AR009712
63.	June 9, 2021	Design Review Transmittal, Approved by Building and Safety Department 06/29/2021	1	AR009714
64.	June 9, 2021	Design Review Transmittal, Approved by Fire Department 06/16/2021	1	AR009716
65.	June 9, 2021	Planning & Zoning Payment Receipt	1	AR009718
66.	June 7, 2021 - June 10, 2021	Bulk Emails between A. Steele and S. Calderon regarding Banning Point submittal	1	AR009722
67.	June 9, 2021	Email from S. Calderon to R. Miller Re out of office	1	AR009762
68.	June 10, 2021	Trip Generation Assessment	1	AR009763
69.	June 10, 2021	Vehicle Miles Traveled Analysis	1	AR009771
70.	June 16, 2021	Banning Fire Services – Office of the County Fire Marshal - Planning Case Conditions	1	AR009787
71.	June 22, 2021	Engineering Department 3.1 Grading Plan Checklist	1	AR009789
72.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Tentative Parcel Map No. 38164 PC1 Memo	1	AR009799
73.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Tentative Parcel Map No. 38164 PC1 Memo and Responses	1	AR009800
74.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Conceptual Grading, Utilities & Storm Drain Plan - PC1 Memo	1	AR009801
75.	June 24, 2021	Memorandum from City of Banning Civil Engineer to Adam Rush Re Engineering Conditions of Approval for DR 21-7008 (NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)	1	AR009803
76.	June 24, 2021	Memorandum from Engineering Resources of Southern California,	1	AR009811

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		Inc. Re Sun Lakes Village - PWQMP - PC1 Memo		
77.	June 14, 2021 - June 25, 2021	Bulk Emails between A. Loconte and Kevin Sin regarding DR 21-7008 N	1	AR009813
78.	June 28, 2021	Letter from Engineering Resources of Southern California, Inc. to Kevin Sin, PE, Public Works/Engineering Department Re Sun Lakes Blvd & Sun Lakes Village – Soils Report – Approval Letter	1	AR009898
79.	June 28, 2021	Letter from Engineering Resources of Southern California, Inc. to Kevin Sin, PE, Public Works/Engineering Department Re Sun Lakes Blvd & Sun Lakes Village – Infiltration Report – Approval Letter	1	AR009899
80.	June 28, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Sun Lakes Village – Preliminary Hydrology Report - PC1 Memo	1	AR009900
81.	June 29, 2021	City of Banning Building and Safety Comments Re DR 21-7008	1	AR009901
82.	June 28, 2021 - June 30, 2021	Bulk Emails between A. Rush and Liza Edwards regarding DR 21-7008	1	AR009903
83.	July 19, 2021	Banning Point Air Quality, Greenhouse Gas, & Health Risk Assessment Memorandum	1	AR009970
84.	July 29, 2021	Site Lighting Design	1	AR010373
85.	July 29, 2021	Tentative Parcel Map No. 38164	1	AR010374
86.	July 29, 2021	Tentative Parcel Map No. 38164 (Redlines)	1	AR010375
87.	July 2, 2021 - July 30, 2021	Bulk Emails from A. Steele to L. Edwards regarding planning comments on DR 21-7008	1	AR010376
88.	August 2, 2021	California, Inc. Re Banning 47 – Sun Lakes Blvd (18014001) Response to “PWQMP PC1 Memo” dated June 24, 2021	1	AR010526
89.	August 2, 2021	Preliminary Water Quality Management Plan Prepared: 4/19/2021 Revision Date: 8/2/2021	1	AR010528
90.	August 5, 2021	Conceptual Grading Plan	1	AR010796

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91.	August 5, 2021	Conceptual Grading Plan (Redline)	1	AR010801
92.	August 5, 2021	Preliminary Hydrology Report	1	AR010806
93.	August 9, 2021	Project Description Banning Point LGE / Design Build	1	AR010968
94.	August 10, 2021	Response to Comments from LGE Project Team Re Banning Point – DR 21-7008	1	AR010973
95.	August 3, 2021 - August 30, 2021	Bulk Emails from A. Rush to L. Edwards regarding DR 21-7008 waiving Burrowing Owl survey or habit assessment report	1	AR010984
96.	September 7, 2021	Design Review 2nd Submittal	1	AR011024
97.	September 7, 2021	Design Review 2nd Submittal, Approved by Building & Safety Department 9-7-21	1	AR011026
98.	September 7, 2021	Design Review 2nd Submittal, Approved by Fire Department 9-14-21	1	AR011028
99.	September 9, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – Banning 47 – Sun Lakes Village - PWQMP - PC2 Memo	1	AR011030
100.	September 1, 2021 - September 10, 2021	Bulk Emails from A. Steele to L. Edwards regarding DR 21-7008 Dept. comments	1	AR011031
101.	September 10, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – Sun Lakes Blvd. – Conceptual Grading, Utilities & Storm Drain Plan – PC2 – Memo ERSC Job No. 18014001/165	2	AR011076
102.	September 10, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – TPM 21-4001 – TPM 38164 PC2 Memo	2	AR011078
103.	September 13, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 - 165 – Banning 47 – Sun Lakes Village – Preliminary Hydrology Report - PC2 Memo	2	AR011079

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104.	September 13, 2021 - September 16, 2021	Bulk Emails from A. Steele to L. Edwards regarding DR 21-7008 Dept. comments	2	AR011080
105.	September 23, 2021	City of Banning Electric Utility – 2 nd Submittal Electric Comments	2	AR011205
106.	September 20, 2021 - September 24, 2021	Bulk Emails from A. Rush to L. Edwards regarding CEQA review	2	AR011207
107.	September 27, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re City of Banning – Banning Point (TPM 38164) – Trip Generation Assessment – PC1 Memo	2	AR011259
108.	September 27, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re City of Banning – Banning Point (TPM 38164) – Vehicle Miles Traveled (VMT) Analysis – PC1 Memo	2	AR011260
109.	September 27, 2021 - September 29, 2021	Bulk Emails to A. Vela at City regarding download sharefile notification Traffic Impact Analysis with documents attached	2	AR011261
110.	October 4, 2021	Trip Generation Assessment	2	AR011359
111.	October 4, 2021	Trip Generation Assessment Response to Comments	2	AR011369
112.	October 5, 2021	Conceptual Colored Elevations and Material Board – Warehouse Bldg.	2	AR011374
113.	October 5, 2021	Narrative of changes from LGE Project Team Re Banning Point – DR 21-7008	2	AR011375
114.	October 5, 2021	Public Hearing Notice for October 19, 2021 PC Meeting	2	AR011378
115.	October 6, 2021	Conceptual Landscape Plan	2	AR011380
116.	October 6, 2021	Memorandum from City of Banning Civil Engineer to Adam Rush Re Engineering Conditions of approval for DR 21-7008 (NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)	2	AR011381
117.	October 4, 2021 - October 9, 2021	Bulk Emails from A. Rush to S. Calderon regarding newspaper notices	2	AR011389

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118.	October 9, 2021	Email from B. Filadelfia Re Opposition to industrial warehouse at the Sun Lakes Village	2	AR011629
119.	October 11, 2021 - October 17, 2021	Bulk Emails from J. Everett to A. Rush regarding DR 21-7008 and availability for community engagement discussion	2	AR011630
120.	October 19, 2021	Agenda Special Meeting of the Banning Planning Commission Planning Commission Report Attachments: 1. Resolution 2021-16 with Conditions of Approval 2. Project Plans 3. DR-21-7008 - Public Hearing Notice 4. DR-21-7008 – Notice of Determination 5. Public Comment Received October 9, 2021	2	AR011771
121.	October 19, 2021	Planning Commission Meeting Action Minutes	2	AR011881
122.	October 19, 2021	Transcript of Planning Commission Meeting	2	AR011887
123.	October 18, 2021 - October 24, 2021	Bulk Emails regarding public comments for DR 21-7008 Banning Point development	2	AR012098
124.	October 25, 2021 - October 31, 2021	Bulk Emails from T. Miller to A. Rush regarding proposed warehouse projects	2	AR012582
125.	November 1, 2021 - November 6, 2021	Bulk Emails from J. Zemon to C. Wallace regarding Creation Equity	2	AR012875
126.	November 8, 2021 - November 13, 2021	Bulk Emails from A. Steele to S. Calderon regarding Banning Point Radius Map and Labels	2	AR013186
127.	November 19, 2021	Notice of Public Hearing for the December 1, 2021 Planning Commission Meeting	2	AR013275
128.	November 19, 2021	Proof of Publication for the December 1, 2021 Planning Commission Meeting	2	AR013280
129.	November 15, 2021 - November 20, 2021	Bulk Emails from R. Robbins to A. Rush regarding Banning Point and	2	AR013281

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		conflicting information from D. Schulze		
130.	November 22, 2021 - November 27, 2021	Bulk Emails from C. Patton to A. Rush Re public records request	2	AR013472
131.	November 28, 2021 - November 30, 2021	Bulk Emails redacted from private party to S. Calderon Re comments at 12-1-21 planning meeting	2	AR013641
132.	December 1, 2021	Agenda Regular Meeting of the Banning Planning Commission Planning Commission Report Attachments: 1. Resolution 2021-16 with Conditions of Approval 2. Project Plans 3. DR-21-7008 - Public Hearing Notice 4. DR-21-7008 – Notice of Determination	2	AR014010
133.	December 1, 2021	Notice of Determination	2	AR014115
134.	December 1, 2021	Planning Commission Regular Meeting Action Minutes	2	AR014117
135.	December 1, 2021	Resolution 2021-16: A Resolution of the Planning Commission of the City of Banning, California, Making Environmental Determinations Under CEQA Guidelines Section 15162, and Approving Design Review 21-7008 & Tentative Parcel Map 38164, to Allow the Subdivision of 47 Acres Into Three (3) Commercial and Industrial Parcels for Financing Purposes and Permit the Construction of a Proposed Industrial Warehouse Building of 619,959 Square Feet on 47-Acres, Including 10,000 Square Feet of Office Space, and Six (6) Retail/Restaurant Buildings Totaling 34,000 Square Feet, on Real Property Located Within the Boundaries of the Sun Lakes Village North Specific Plan Amendment No. 5 (APN: 419-140-057)	2	AR0141121

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
136.	December 1, 2021	Transcript of Planning Commission Meeting	2	AR014171
137.	December 1, 2021 - December 5, 2021	Bulk Emails from M. Murshedi to C. Patton Re false assumptions about distribution center		AR014411
138.	December 7, 2021	Letter from Shute Mihaly Weinberger, LLP to Adam B. Rush, AICP, Community Development Director Re Planning Commission Approval of Design Review 21-7008 and Tentative Parcel Map 38164	2	AR014923
139.	December 7, 2021 - December 12, 2021	Bulk Emails from R. Roy to C. Patton Re appeal deadline	2	AR014926
140.	December 16, 2021	Letter from M. Burton and cover email to City Attorney Re NOD	2	AR015262
141.	December 13, 2021 - December 17, 2021	Bulk Emails from M. Murshedi to D. Schulze Re PAG newsletters attached	2	AR015267
142.	December 21, 2021	Email and Letter from City Attorney Kevin Ennis Re NOD	2	AR015437
143.	December 20, 2021 - December 29, 2021	Bulk Emails from J. Gaglio to B. Robinson Re switch size	2	AR015441
144.	January 3, 2022 - January 8, 2022	Bulk Emails from A. Rush to A. Rush Re PHN for DR 21-7008 Appeal hearing and special meeting	2	AR015473
145.	January 10, 2022 - January 14, 2022	Bulk Emails from A. Rush to J. Zemon Re Banning Point catch up	2	AR015638
146.	January 21, 2022	Proof of Publication of January 31, 2022 City Council Public Hearing	2	AR015676
147.	January 17, 2022 - January 23, 2022	Bulk Emails from J. Gaglio to B. Robinson Re power and undergrounding poles/lines	2	AR015678
148.	January 24, 2022- January 31, 2022	Bulk Emails from C. So to S. Calderon Re Banning Point meeting	2	AR015744
149.	January 24, 2022	Letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Appeal of Sun Lakes Village North Design Review 21-7008 and Opposition to Tentative Parcel Map 38164	2	AR016113
150.	February 1, 2022 - February 6, 2022	Bulk Emails to Banning public records from L. Sampson	2	AR016541

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
151.	February 10, 2022	Banning Point Addendum / Consistency Checklist to the Sun Lakes Village North Specific Plan Amendment No. 5 Environmental Impact Report Appendices: <ul style="list-style-type: none"> • Appendix A: Air Quality, Greenhouse Gas, & Health Risk Assessment Memorandum • Appendix B: Traffic Assessment • Appendix C Vehicle Miles Traveled (VMT) Analysis • Appendix D Noise and Vibration Impact Analysis 	2	AR016739
152.	February 10, 2022	Letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Recusal of Mayor Pro Tem Colleen Wallace, Councilmember Mary Hamlin, and Councilmember Alberto Sanchez from Consideration of Design Review 21-7008 and Tentative Parcel Map 38164	2	AR017425
153.	February 10, 2022	See Tab 151 (Banning Point Addendum / Consistency Checklist to the Sun Lakes Village North Specific Plan Amendment No. 5 Environmental Impact Report) above.	2	AR017454
154.	February 7, 2022 - February 12, 2022	Bulk Emails from L. Hamlin to M. Owen Re organized crime links	2	AR018140
155.	February 15, 2022	Letter from Urban Crossroads to Adam Rush, City of Banning Re Banning Point Development (Design Review 21-7008 & Tentative Parcel Map 38164): Responses to Comments Submitted by Shute Mihaly & Weinberger on Behalf of the Pass Area Action Group	2	AR018281
156.	February 15, 2022	Supplemental letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the	2	AR018730

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		City Council Re Design Review 21-7008 and Tentative Parcel Map 38164		
157.	February 16, 2022	Letter from Allen Matkins to Mayor and City Council Re Approve the Banning Point Development (Design Review 21-7008 and Parcel Map 38164) and Deny the Appeal Filed by Pass Action Group	2	AR018745
158.	February 17, 2022	<p>Agenda Special City Council Meeting City of Banning, California</p> <p>City Council Staff Report</p> <p>Attachments:</p> <ol style="list-style-type: none"> 1. City Council Resolution 2022-14 (including Conditions of Approval) 2. Appeal Filed By Pass Action Group 3. Planning Commission Staff Report, December 1, 2021 4. Tentative Parcel Map 38164 5. DR 21-7008 Plan Set 6. Addendum/Consistency Checklist 7. Approved Planning Commission Meeting Minutes, October 19, 2021 8. Planning Commission Meeting Minutes, December 1, 2021 9. Planning Commission Resolution No. 2021-16 10. City Council Public Hearing Notices 11. City Council Affidavit of Public Hearing Notice 	2	AR018776
159.	February 17, 2022	<p>City Council Special Meeting Minutes</p> <p>Public Record Materials:</p> <ol style="list-style-type: none"> 1. Public Comment submitted by Pass Area Action Group – Received 1/24/2022 	2	AR019725

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		2. Project CEQA Consultant Response to Comments – Received 2/15/2022 3. Allen Matkins Leck Gamble Mallory & Natsis LLP Letter of Support – Received 2/16/2022 4. Appellant Supplement Letter – Received 2/16/2022 5. Project CEQA Consultant Response to Comments – Received 2/17/2022		
160.	February 17, 2022	Letter from Urban Crossroads to Adam Rush, City of Banning Re (Design Review 21-7008 & Tentative Parcel Map 38164): Responses to Comments Submitted on February 15, 2022, by Shute Mihaly & Weinberger on Behalf of the Pass Area Action Group	2	AR019768
161.	February 17, 2022	Notice of Determination	2	AR019772
162.	February 17, 2022	Resolution 2022-14: A Resolution of the City Council Of The City Of Banning, California, (1) Approving Tentative Parcel Map No. 38164, Allowing the Subdivision of Approximately 47 Gross Acres of Vacant Land, Into Three Parcels; (2) Approving Design Review 21-7008 and Affirming the Planning Commission's Approval of that Application and Denying an Appeal of that Decision and Permitting the Construction of a Proposed Industrial Warehouse Building of 619,959 Square Feet, Including 10,000 Square Feet of Office Space, and Six Retail/Commercial Buildings Totaling 34,000 Square Feet, on Real Property Located within the Boundaries of the Sun Lakes Village North Specific Plan Amendment No. 5 (APN: 419-140-057); And (3) Adopting an	2	AR019773

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		Addendum Under the California Environmental Quality Act (CEQA) and Making Findings in Support thereof, including Finding of Consistency with the Certified Environmental Impact Report Prepared for Amendment No. 5 to the Sun Lakes Village North Specific Plan (SCH # 2020029074)		
163.	February 17, 2022	See Tab 162 (Resolution 2022-14) above.	2	AR019820
164.	February 17, 2022	Transcript of City Council Special Meeting	2	AR019867
165.	February 14, 2022 - February 18, 2022	Bulk Emails from L. Sampson to C. Patton Re special CC meeting on appeal	2	AR020161
166.	November 21, 2021 – January 24, 2022	Bulk Emails regarding miscellaneous	2	AR020613
167.	May 15, 2024	Email from J. Everett to J. Zemon Re Radius Labels	2	AR020619
168.	May 15, 2024	Email from J. Zemon to J. Everett Re Radius Labels	2	AR020621
169.	May 15, 2024	Email from S. Calderon to J. Zemon Re Radius Labels	2	AR020625
170.	May 15, 2024	Email from S. Calderon to J. Zemon Re Radius Labels	2	AR020629
171.	May 15, 2024	Email from G. Kingdon to S. Calderon Re Radius Labels	2	AR020633
172.	May 15, 2024	Email from S. Calderon to G. Kingdon Re Radius Labels	2	AR020637
173.	May 17, 2024	Email from G. Kingdon to S. Calderon Re Radius Labels	2	AR020641
174.	May 17, 2024	Email from S. Calderon to G. Kingdon Re Radius Labels	2	AR020646
175.	May 20, 2024	Email from A. Rush to S. Calderon Re SmartGov	2	AR020651
176.	May 20, 2024	Email from S. Calderon to A. Rush Re SmartGov	2	AR020653
177.	May 20, 2024	Email from S. Calderon to A. Rush Re SmartGov	2	AR020654
178.	May 20, 2024	Email from S. Dailey v. A. Sanchez Re Project Vote No	2	AR020656

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179.	May 21, 2024	Email from K. Bundy to City Clerk Re PAG and inadequate notice of hearing	2	AR020657
180.	May 21, 2024	Email From A. Rush to J. Zemon Re inadequate notice of hearing	2	AR020660
181.	May 22, 2024	Email from S. Calderon to K. Bundy Re inadequate notice of hearing	2	AR020664
182.	May 22, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020665
183.	May 22, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	2	AR020666
184.	May 30, 2024	Email from S. Calderon to A. Rush Re June 11 CC Meeting	2	AR020668
185.	May 30, 2024	Email from A. Rush to S. Calderon Re June 11 CC Meeting	2	AR020669
186.	June 3, 2024	Email from S. Calderon to J. Zemon Re Banning Point Project and June 11	2	AR020670
187.	June 3, 2024	Email from S. Calderon to Public Works Group Re June 11 CC Meeting	2	AR020674
188.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020678
189.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020680
190.	June 4, 2024	Email from K. Bundy to C. Patton Re Inadequate notice of hearing	2	AR020682
191.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020684
192.	June 4, 2024	Email from R. Reddig to City Clerk Re Banning Point objection	2	AR020686
193.	June 5, 2024	Email from S. Calderon to C. Patton Re Banning Point with message Email from F. Matzen	2	AR020687
194.	June 5, 2024	Email from S. Dills to S. Calderon Re Banning Point approval	2	AR020688
195.	June 5, 2024	Email from J. Zemon to E. Papp Re June 11 Hearing to touch base	2	AR020689
196.	June 4, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	2	AR020690
197.	June 5, 2024	Email from E. Papp to J. Zemon Re June 11 Hearing to touch base		AR020693

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
198.	June 5, 2024	Email from S. Calderon to C. Patton Re Banning Point with message Email from S. Dills	2	AR020694
199.	June 5, 2024	From C. Patton to S. Dills Re Banning Point comments	2	AR020695
200.	June 5, 2024	From C. Patton to R. Reddig Re Banning Point comments	2	AR020696
201.	June 5, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	3	AR020697
202.	June 5, 2024	Email from P. Jackson to S. Calderon Re objections to Banning Point	3	AR020700
203.	June 5, 2024	Email from C. Patton to F. Matzen Re Banning Point comments	3	AR020701
204.	June 6, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	3	AR020702
205.	June 6, 2024	Email from C. Patton to K. Bundy Re Inadequate notice of hearing	3	AR020705
206.	June 6, 2024	Email from D. Ferreira to City Clerk Re Banning Point opposition	3	AR020708
207.	June 6, 2024	Email from S. Calderon to E. Papp Re Affidavit of Mailing	3	AR020709
208.	June 6, 2024	Email from D. Ferreira to C. Wallace Re Banning Point opposition	3	AR020736
209.	June 6, 2024	Email from D. Ferreira to D. Happe Re Banning Point opposition	3	AR020737
210.	June 6, 2024	Email from C. Patton to D. Ferreira Re Banning Point comments	3	AR020738
211.	June 6, 2024	Email from D. Ferreira to A. Sanchez Re Banning Point opposition	3	AR020739
212.	June 7, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	3	AR020740
213.	June 10, 2024	Email from B. Ruano to City Clerk Re Banning Point vote	3	AR020744
214.	June 10, 2024	Email from T. Leamy to C. Wallace Re Banning Point vote	3	AR020745
215.	June 10, 2024	Email from L. Sampson to B. Ruano Re Banning Point vote	3	AR020746
216.	June 10, 2024	Email from B. Ruano to R. Minjares Re Attachment with vote no	3	AR020747
217.	June 10, 2024	Email from L. Sampson to C. Patton Re Banning Point Warehouse Project	3	AR020749

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218.	June 10, 2024	Email from J. Zemon to E. Papp Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR020751
219.	June 10, 2024	Email from E. Papp to J. Zemon Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR020753
220.	June 10, 2024	Email from J. Condas to E. Papp Re CC Consent Item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020755
221.	June 10, 2024	Email from J. Zemon to E. Papp Re CC consent item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020758
222.	June 10, 2024	Email from E. Papp to J. Zemon Re CC Consent Item 6.10 and Public Hearing Item 7.1`	3	AR020761
223.	June 10, 2024	Email from J. Zemon to E. Papp Re CC Consent Item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020764
224.	June 10, 2024	Email from C. Medley to S. Calderon Re vote	3	AR020767
225.	June 10, 2024	Email from K. Bundy to C. Patton Re rescheduling hearing	3	AR020768
226.	June 11, 2024	Email from T. Leamy to C. Wallace Re vote	3	AR020769
227.	June 11, 2024	City Council Regular Meeting Agenda (ITEM 9.1 REMOVED AND NOT HEARD)	3	AR020770
228.	June 11, 2024	Minutes of City Council Regular Meeting (SHOWS 9.1 REMOVED FROM AGENDA AND NOT HEARD)	3	AR020775
229.	June 11, 2024	Staff Report for City Council Regular Meeting on June 11, 2024 with attachments: NOT HEARD 1. Resolution 2024-88, Banning Point.docx 2. Exhibit A - Conditions of Approval.docx 3. PAAG Appeal Letter.pdf 4. December 1 2021 Regular Planning Commission Meeting.pdf 5. TPM 38164.pdf 6. DR 21-7008 Plans.pdf	3	AR020803

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		7. Addendum Consistency Checklist.pdf 8. Approved PC Minutes October 19, 2021.pdf 9. December 1, 2021 PC Meeting Minutes.pdf 10. PC Resolution 2021-16.pdf 11. February 17, 2022 Special CC Meeting Minutes.pdf 12. 240409 Judgment Grant Peremptory Writ of Mandate SLH.pdf 13. Public Comment Correspondence.pdf 14. 10.19.2021 PC PHN.pdf 15. 12.01.2021 PC PHN.pdf 16. Public Hearing Notice - 06/11/2024		
230.	June 24, 2024	Email From P. Gosney to J. Condas Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022716
231.	June 25, 2024	Email from S. Calderon to E. Papp Re Affidavits of Mailing and Posting Notice of Hearing	3	AR022719
232.	June 30, 2024	Email from T. Leamy to C. Wallace Re Banning Point vote NO	3	AR022746
233.	July 1, 2024	Email From P. Gosney to J. Condas and E. Papp Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022747
234.	July 1, 2024	Email from C. Patton to P. Gosney Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022750
235.	July 1, 2024	Email from C. Patton to P. Gosney Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting (Second Email)	3	AR022753
236.	July 5, 2024	Email from P. Jackson to City Clerk Re objection to Banning Point project	3	AR022757
237.	July 6, 2002	Email from T. Leamy to C. Wallace Re vote	3	AR022759
238.	July 6, 2024	Email from G. Johnson to A. Sanchez Re traffic congestion	3	AR022760

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239.	July 8, 2024	Email from B. Ruano to City Clerk Re vote	3	AR022761
240.	July 8, 2024	Email from K. and R. Nemire to A. Sanchez Re Letter regarding opposition	3	AR022762
241.	July 8, 2024	Email from J. Sherman to A. Rush Re opposition	3	AR022764
242.	July 8, 2024	Email from D. Ferreira to City Clerk Re opposition	3	AR022765
243.	July 8, 2024	Email from D. Ferreira to City Council and Mayor Re opposition	3	AR022766
244.	July 8, 2024	Email from D. Ferreira to Councilwoman C. Wallace Re opposition	3	AR022767
245.	July 8, 2024	Email from D. Ferreira to D. Happe Re opposition	3	AR022768
246.	July 8, 2024	Email from D. Ferreira to A. Sanchez Re opposition	3	AR022769
247.	July 8, 2024	Email from D. Ferreira to D. Schulze Re opposition	3	AR022770
248.	July 8, 2024	Email from K. Dale to C. Patton Re comments	3	AR022771
249.	July 8, 2024	Email from C. Medley to S. Calderon Re vote	3	AR022778
250.	July 8, 2024	Email from D. Shulze to C. Patton Re opposition	3	AR022779
251.	July 8, 2024	Email from H. Tabachnik to C. Patton Re opposition	3	AR022780
252.	July 8, 2024	Email from M. Johnson to D. Schulze Re opposition	3	AR022781
253.	July 8, 2024	Email from M. Johnson to A. Sanchez Re opposition	3	AR022782
254.	July 8, 2024	Email from M. Johnson to R. Minjares Re opposition	3	AR022783
255.	July 8, 2024	Email from R. Robbins to C. Patton Re 7-9-24 Presentation	3	AR022784
256.	July 8, 2024	Email from M. Johnson to D. Happe Re opposition	3	AR022798
257.	July 8, 2024	Email from D. Schulze to C. Patton Re opposition	3	AR022799
258.	July 8, 2024	Email from C. Patton to R. Robbins Re PAG documents	3	AR022800

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259.	July 8, 2024	Email from R. Robbins to C. Patton Re PAG documents	3	AR022801
260.	July 8, 2024	Email from M. Johnson to C. Wallace Re opposition	3	AR022802
261.	July 8, 2024	Email from C. Pierro to A. Sanchez Re traffic and health reasons	3	AR022803
262.	July 9, 2024	Email from K. Bundy to City Council Re PAG Comments	3	AR022804
263.	July 9, 2024	Email from K. Dale to City Clerk Re 7-9-24 CC Meeting and the project	3	AR022813
264.	July 9, 2024	Email from S. Calderon to E. Papp Re 7-9-24 CC Meeting Agenda	3	AR022816
265.	July 9, 2024	Email from C. Patton to K. Bundy Re 7-9-24 CC Agenda	3	AR022825
266.	July 9, 2024	Email from S. Flynn to C. Patton Re 7-9-24 CC Agenda	3	AR022826
267.	July 9, 2024	Email from R. Minjares to R. Minjares Re 7-9-24 CC Public Hearing	3	AR022827
268.	July 9, 2024	Email from C. Wallace to R. Boyle Re S. Flynn attending PAG meeting and participating	3	AR022830
269.	July 9, 2024	City Council Regular Meeting Agenda	3	AR022831
270.	July 9, 2024	Minutes of City Council Regular Meeting	3	AR022836
271.	July 9, 2024	Notice of Public Hearing	3	AR022990
272.	July 9, 2024	Proof of Publication	3	AR022992
273.	July 9, 2024	Staff Report for City Council Regular Meeting on July 9, 2024 with attachments: 1. Resolution 2024-114, DR 21-7008 Consideration.docx 2. Exhibit A - COAs.docx 3. PAAG Appeal Letter.pdf 4. December 1 2021 Regular Planning Commission Meeting.pdf 5. TPM 38164.pdf 6. DR 21-7008 Plans.pdf 7. Addendum Consistency Checklist.pdf	3	AR022993

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		8. Approved PC Minutes October 19, 2021.pdf 9. December 1, 2021 PC Meeting Minutes.pdf 10. PC Resolution 2021-16.pdf 11. Resolution No. 2022-014.pdf 12. February 17, 2022 Special CC Meeting Minutes.pdf 13. 240409 Judgment Grant Peremptory Writ of Mandate SLH.pdf 14. March 15, 2024 Ruling.pdf 15. Public Comment Correspondence.pdf 16. 10.19.2021 PC PHN.pdf 17. 12.01.2021 PC PHN.pdf 18. Public Hearing Notice - 06/11/2024 19. PHN_Banning Point_7.9.2024.pdf 20. 2024 06 28_PHN - Proof of Publication 21. Banning - Affidavits of Mailing and Posting of Notice of Public Hearing.pdf		
274.	July 9, 2024	Resolution 2024-113	3	AR025680
275.	July 9, 2024	Transcript of Video of City Council Meeting Agenda Item No. 7.1	3	AR025683
276.	July 10, 2024	Email from J. Sherman to K. Gutierrez Re project opposition	3	AR025929
277.	July 10, 2024	Email from K. Gutierrez to E. Papp Re opposition	3	AR025930
278.	July 11, 2024	Email from D. Nethercott to C. Wallace Re 7-9-24 CC Meeting	3	AR025931
279.	July 11, 2024	Email from D. Nethercott to A. Sanchez Re 7-9-24 CC Meeting	3	AR025932
280.	July 11, 2024	Email from D. Nethercott to S. Flynn thanking her for hard work	3	AR025933
281.	July 11, 2024	Email from K. Dale to E Papp re Banning Point - Legible Parcel Map	3	AR025934
282.	July 25, 2024	Letter from Project Applicant to CC Re Banning Point Project	3	AR025936
283.	July 25, 2024	Email from K. Preston to CC Re Banning Point Project	3	AR025951

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284.	July 25, 2024	Email from C. Patton to K. Preston Re Banning Point Project	3	AR025967
285.	July 25, 2024	Email from K. Preston to C. Patton Re Banning Point Project	3	AR025968
286.	August 9, 2024	Email from K. Bundy to C. Patton re Banning Point Project - City Council hearing	3	AR025970
287.	August 9, 2024	Email from C. Patton to K. Bundy re Banning Point Project - City Council hearing	3	AR025971
288.	August 9, 2024	Email from K. Bundy to C. Patton Re Banning Point Project - City Council hearing	3	AR025972
289.	August 10, 2024	Email from V. De Bry to D. Happe Re Banning Point	3	AR025974
290.	August 10, 2024	Email from V. De Bry to R. Minjares Re Banning Point	3	AR025975
291.	August 13, 2024	Email from C. Patton to K. Bundy Re Banning Point Project - City Council hearing	3	AR025976
292.	August 13, 2024	Email from K. Bundy to C. Patton Re Banning Point Project - City Council hearing	3	AR025978
293.	August 13, 2024	Email from J. Hannahs to S. Flynn Re Banning Point	3	AR025980
294.	August 13, 2024	Email from J. Hannahs to C. Wallace Re Banning Point Warehouse	3	AR025981
295.	August 13, 2024	Email from J. Hannahs to A. Sanchez Re Banning Point Warehouse	3	AR025982
296.	August 14, 2024	Email from City Manager by L. Sampson to D. Schulze Re Sun Lakes Village	3	AR025983
297.	August 14, 2024	Email from E. Papp to P. Gosney Re Banning Point Project - City Council Agenda Planning	3	AR025984
298.	August 14, 2024	Email from P. Gosney to E. Papp Re Banning Point Project - City Council Agenda Planning	3	AR025985
299.	August 19, 2024	Email from E. Papp to M. Valenzuela Re TPM for Banning Point	3	AR025986
300.	August 22, 2024	Email from G. Johnson to A. Sanchez Re Banning Point Warehouse project	3	AR025988

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301.	August 23, 2024	Email from G. Phelps to D. Schulze Re Speaking at the Aug CC mtg re Banning Point Whse	4	AR025989
302.	August 23, 2024	Email from C. Patton to G. Phelps Re Speaking at the Aug CC mtg re Banning Point Warehouse	4	AR025991
303.	August 26, 2024	Email from G. Phelps to C. Patton Re Speaking at the Aug CC Mtg re Banning Point Warehouse	4	AR025993
304.	August 27, 2024	Agenda and Staff Report for 8-27- 2024 Meeting with Approval of 7-09- 2024 Meeting Minutes	4	AR025996
305.	August 29, 2024	8-29-2024 Letter from Shute, Mihaly & Weinberger LLP, PAG Counsel to City Council	4	AR027505
306.	August 29, 2024	Email from K. Bundy to CC Re Correspondence re Banning Point Project	4	AR027526
307.	August 29, 2024	Email from K. Bundy to CC Re Correspondence re Banning Point Project (Second Email)	4	AR027548
308.	August 30, 2024	Email from S. Flynn to K. Dale Re Correspondence re Banning Point Project	4	AR027570
309.	September 4, 2024	Email from C. Patton to CC Re Communication re Banning Point Project	4	AR027571
310.	September 4, 2024	Email from Sun Lakes Highland to CC Members Re Banning Point Project (Memo)	4	AR027572
311.	September 4, 2024	Email from C. Patton to A. Gomez re Banning Point Memo to Banning CC	4	AR027587
312.	September 4, 2024	Email from A. Gomez to D. Schulze Re Banning Point Memo to Banning CC	4	AR027588
313.	September 24, 2024	Email from Doug Schulze to A. Gomez Re Banning Point Memo to Banning CC	4	AR027604
314.	September 4, 2024	Email from E. Papp to J. Zemon Re Correspondence re Banning Point Project	4	AR027605

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315.	September 5, 2024	Email from J. Zemon to E. Papp Re Correspondence re Banning Point Project	4	AR027627
316.	September 5, 2024	Email from E. Papp to J. Zemon Re Correspondence re Banning Point Project	4	AR027629
317.	September 5, 2024	Email from J. Zemon to E. Papp Re Correspondence re Banning Point Project	4	AR027631
318.	September 5, 2024	Email from K. Bundy to C. Patton Re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Point)	4	AR027634
319.	September 5, 2024	Email from N. Criste to E. Papp Re Agenda Packet and Resolutions	4	AR027635
320.	September 6, 2024	Email from E. Papp to N. Criste Re Agenda Packet for Council - Sun Lakes Village	4	AR027636
321.	September 6, 2024	Email from E. Papp to N. Criste Re Agenda Packet for Council - Sun Lakes Village	4	AR027637
322.	September 9, 2024	Email from G. Phelps to D. Schulze Re Speaking on Banning Point Whse - Agenda 8.2	4	AR02739
323.	September 9, 2024	Email from J. Hannahs to J. Hannahs Re Banning Point	4	AR027642
324.	September 9, 2024	Email from N. Campos to City Clerks Re Banning Point Project, City Council Agenda Item 8.2	4	AR027643
325.	September 9, 2024	Email from K. Bundy to CC Re 9-10-24 Agenda Item 8.2 - Banning Point project	4	AR027651
326.	September 9, 2024	Email from C. Patton to K. Bundy Re 9-10-24 Agenda Item 8.2 - Banning Point project	4	AR027661
327.	September 9, 2024	Email from C. Patton to N. Campos Re Banning Point Project, City Council Agenda Item 8.2	4	AR027662
328.	September 9, 2024	Email from E. Papp to J. Zemon Re 9-10-24 Agenda Item 8.2, Banning Point project	4	AR027663
329.	September 10, 2024	Email from J. Zemon to E. Papp re Banning Point - Applicant Presentation	4	AR027673

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330.	September 10, 2024	Email from E. Papp to J. Zemon Re Banning Point - Applicant Presentation	4	AR027697
331.	September 10, 2024	Email from E. Papp to S. Calderon Re PowerPoint Presentation for Print - Banning Point	4	AR027699
332.	September 10, 2024	Email from P. Gosney to E. Papp Re Banning Point - Applicant Presentation	4	AR027713
333.	September 10, 2024	Email from C. Patton to G. Phelps Re Speaking on Banning Point Whse - Agenda 8.2	4	AR027740
334.	September 10, 2024	Email from D. Ferreira to C. Wallace re Banning Point Project	4	AR027741
335.	September 10, 2024	Email from G. Phelps to C. Patton re Speaking on Banning Point Whse - Agenda 8.2	4	AR027742
336.	September 10, 2024	Email from C. Patton to K. Bundy re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Pt)	4	AR027743
337.	September 10, 2024	Email from K. Bundy to C. Patton Re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Pt)	4	AR027745
338.	September 10, 2024	Email from E. Papp to C. Patton re Banning Point - Application Presentation	4	AR027747
339.	September 10, 2024	Email from C. Patton to E. Papp Re Application presentation	4	AR027774
340.	September 10, 2024	Email from E. Papp to P. Gosney Re Application presentation	4	AR027777
341.	September 10, 2024	Email from P. Gosney to E. Papp Re Application presentation	4	AR027779
342.	September 10, 2024	Email from K. Bundy to City Council Re CC 9-10-2024 Agenda	4	AR027782
343.	September 10, 2024	Email from E. Papp to J. Zemon Re Pass Action Group Letter to City Council 8-29-24	4	AR027805
344.	September 10, 2024	City Council Regular Meeting Agenda	4	AR027828
345.	September 10, 2024	City Council Resolution No. 2024-151 A Resolution Of The City Council Of The City Of Banning, California, (1) Disapproving	4	AR027833

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		Tentative Parcel Map No. 38164, A Proposed Subdivision Of Approximately 47 Gross Acres Of Vacant Land Into Three Parcels; (2) Denying Design Review No. 21-7008 A Proposed Construction Of A 619,959 Square Foot Industrial Warehouse Building, Including 10,000 Square Feet Of Office Space And A Combined 34,000 Square Feet Of Retail/ Commercial Buildings, On Real Property Located Within The Boundaries Of The Sun Lakes Village North Specific Plan Area (APN: 419-140-057), (3) Making A Determination Of Exemption Under Section 15720(A) Of The California Environmental Quality Act (CEQA) Guidelines		
346.	September 10, 2024	Minutes of City Council Regular Meeting	4	AR027843
347.	September 10, 2024	Staff Report for City Council Regular Meeting on September 10, 2024 with attachments: 1. TPM No. 38164.pdf 2. DR_21-7008_Plans.pdf 3. July 9, 2024 CC SR w_attachments.pdf 4. 2024-03-15_Order_re_Writ_of_Mandate.pdf 5. July 25, 2024 Letter from Project Applicant 6. August 29, 2024 Letter from Appellant 7. September 4, 2024 Memorandum from Project Applicant 8. Resolution 2024-149, Banning Point.docx 9. Exhibit A to Reso 2024-149 - COA.docx 10. Resolution 2024-150, Banning Point Approval of TPM and Denial of DR	4	AR027998

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		11. Exhibit A to Reso 2024-150 - COA 12. Resolution 2024-151, Banning Pointe Denial of TPM and DR 13. 2024 07 09_Minutes_Regular Meeting.pdf 14. Addendum_Consistency_Checklist.pdf		
348.	September 10, 2024	Transcript of Video of City Council Meeting Agenda Item No. 8.2	4	AR029639
349.	September 25, 2024	Letter from SLH to City Council	4	AR029770
350.	October 8, 2024	City Council Regular Meeting Agenda	4	AR029803
351.	October 8, 2024	Minutes of City Council Regular Meeting	4	AR029807
352.	October 8, 2024	Staff Report for City Council Regular Meeting on October 8, 2024 with attachments: 1.CC Resolution No. 2024-151.pdf 2. 2024-09-25 SLH Reconsideration Request.pdf 3. BMC 17.68.140__Reconsideration..docx 4. CC Manual of Procedural Guidelines_Resolution 2023-34 - Copy.pdf	4	AR029848
353.	October 8, 2024	Transcript of Video of City Council Meeting Agenda Item No. 9.1	4	AR030661

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305.	August 29, 2024	8-29-2024 Letter from Shute, Mihaly & Weinberger LLP, PAG Counsel to City Council	4	AR027505
304.	August 27, 2024	Agenda and Staff Report for 8-27-2024 Meeting with Approval of 7-09-2024 Meeting Minutes	4	AR025996
132.	December 1, 2021	Agenda Regular Meeting of the Banning Planning Commission Planning Commission Report Attachments: 1. Resolution 2021-16 with Conditions of Approval 2. Project Plans 3. DR-21-7008 - Public Hearing Notice 4. DR-21-7008 – Notice of Determination	2	AR014010
158.	February 17, 2022	Agenda Special City Council Meeting City of Banning, California City Council Staff Report Attachments: 1. City Council Resolution 2022-14 (including Conditions of Approval) 2. Appeal Filed By Pass Action Group 3. Planning Commission Staff Report, December 1, 2021 4. Tentative Parcel Map 38164 5. DR 21-7008 Plan Set 6. Addendum/Consistency Checklist 7. Approved Planning Commission Meeting Minutes, October 19, 2021 8. Planning Commission Meeting Minutes, December 1, 2021 9. Planning Commission Resolution No. 2021-16 10. City Council Public Hearing Notices 11. City Council Affidavit of Public Hearing Notice	2	AR018776

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
120.	October 19, 2021	Agenda Special Meeting of the Banning Planning Commission Planning Commission Report Attachments: 1. Resolution 2021-16 with Conditions of Approval 2. Project Plans 3. DR-21-7008 - Public Hearing Notice 4. DR-21-7008 – Notice of Determination 5. Public Comment Received October 9, 2021	2	AR011771
70.	June 16, 2021	Banning Fire Services – Office of the County Fire Marshal - Planning Case Conditions	1	AR009787
151.	February 10, 2022	Banning Point Addendum / Consistency Checklist to the Sun Lakes Village North Specific Plan Amendment No. 5 Environmental Impact Report Appendices: <ul style="list-style-type: none"> • Appendix A: Air Quality, Greenhouse Gas, & Health Risk Assessment Memorandum • Appendix B: Traffic Assessment • Appendix C Vehicle Miles Traveled (VMT) Analysis • Appendix D Noise and Vibration Impact Analysis 	2	AR016739
83.	July 19, 2021	Banning Point Air Quality, Greenhouse Gas, & Health Risk Assessment Memorandum	1	AR009970
51.	April 20, 2021	Banning Point Preliminary Landscape Plan	1	AR009556
77.	June 14, 2021 - June 25, 2021	Bulk Emails between A. Loconte and Kevin Sin regarding DR 21-7008 N	1	AR009813
82.	June 28, 2021 - June 30, 2021	Bulk Emails between A. Rush and Liza Edwards regarding DR 21-7008	1	AR009903

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66.	June 7, 2021 - June 10, 2021	Bulk Emails between A. Steele and S. Calderon regarding Banning Point submittal	1	AR009722
144.	January 3, 2022 - January 8, 2022	Bulk Emails from A. Rush to A. Rush Re PHN for DR 21-7008 Appeal hearing and special meeting	2	AR015473
145.	January 10, 2022 - January 14, 2022	Bulk Emails from A. Rush to J. Zemon Re Banning Point catch up	2	AR015638
106.	September 20, 2021 - September 24, 2021	Bulk Emails from A. Rush to L. Edwards regarding CEQA review	2	AR011207
95.	August 3, 2021 - August 30, 2021	Bulk Emails from A. Rush to L. Edwards regarding DR 21-7008 waiving Burrowing Owl survey or habit assessment report	1	AR010984
117.	October 4, 2021 - October 9, 2021	Bulk Emails from A. Rush to S. Calderon regarding newspaper notices	2	AR011389
100.	September 1, 2021 - September 10, 2021	Bulk Emails from A. Steele to L. Edwards regarding DR 21-7008 Dept. comments	1	AR011031
104.	September 13, 2021 - September 16, 2021	Bulk Emails from A. Steele to L. Edwards regarding DR 21-7008 Dept. comments	2	AR011080
87.	July 2, 2021 - July 30, 2021	Bulk Emails from A. Steele to L. Edwards regarding planning comments on DR 21-7008	1	AR010376
126.	November 8, 2021 - November 13, 2021	Bulk Emails from A. Steele to S. Calderon regarding Banning Point Radius Map and Labels	2	AR013186
130.	November 22, 2021 - November 27, 2021	Bulk Emails from C. Patton to A. Rush Re public records request	2	AR013472
148.	January 24, 2022 - January 31, 2022	Bulk Emails from C. So to S. Calderon Re Banning Point meeting	2	AR015744
119.	October 11, 2021 - October 17, 2021	Bulk Emails from J. Everett to A. Rush regarding DR 21-7008 and availability for community engagement discussion	2	AR011630
147.	January 17, 2022 - January 23, 2022	Bulk Emails from J. Gaglio to B. Robinson Re power and undergrounding poles/lines	2	AR015678
143.	December 20, 2021 - December 29, 2021	Bulk Emails from J. Gaglio to B. Robinson Re switch size	2	AR015441

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125.	November 1, 2021 - November 6, 2021	Bulk Emails from J. Zemon to C. Wallace regarding Creation Equity	2	AR012875
154.	February 7, 2022 - February 12, 2022	Bulk Emails from L. Hamlin to M. Owen Re organized crime links	2	AR018140
165.	February 14, 2022 - February 18, 2022	Bulk Emails from L. Sampson to C. Patton Re special CC meeting on appeal	2	AR020161
137.	December 1, 2021 - December 5, 2021	Bulk Emails from M. Murshedi to C. Patton Re false assumptions about distribution center		AR014411
141.	December 13, 2021 - December 17, 2021	Bulk Emails from M. Murshedi to D. Schulze Re PAG newsletters attached	2	AR015267
129.	November 15, 2021 - November 20, 2021	Bulk Emails from R. Robbins to A. Rush regarding Banning Point and conflicting information from D. Schulze	2	AR013281
139.	December 7, 2021 - December 12, 2021	Bulk Emails from R. Roy to C. Patton Re appeal deadline	2	AR014926
124.	October 25, 2021 - October 31, 2021	Bulk Emails from T. Miller to A. Rush regarding proposed warehouse projects	2	AR012582
131.	November 28, 2021 - November 30, 2021	Bulk Emails redacted from private party to S. Calderon Re comments at 12-1-21 planning meeting	2	AR013641
53.	April 25, 2021 - April 30, 2021	Bulk Emails regarding Costco follow-up from James Wurts and ECK Corp.	1	AR009559
28.	December 2, 2020 – December 9, 2020	Bulk Emails regarding environmental clean-up and demolition with City and A. Chacon, S. Kukett and G. Hill	1	AR007971
61.	May 5, 2021 - May 28, 2021	Bulk Emails regarding labor workforce statistics for City of Banning between G. Kingston and J. Wurtz	1	AR009669
166.	November 21, 2021 – January 24, 2022	Bulk Emails regarding miscellaneous	2	AR020613
34.	February 2, 2021 - February 22, 2021	Bulk Emails regarding November publication notices and invoices from Record Gazette to City	1	AR008083
32.	January 4, 2021 - January 27, 2021	Bulk Emails regarding proposed project and dedications for street widening, sign diversion with Thienes Engineering, Inc.	1	AR008048

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123.	October 18, 2021 - October 24, 2021	Bulk Emails regarding public comments for DR 21-7008 Banning Point development	2	AR012098
109.	September 27, 2021 - September 29, 2021	Bulk Emails to A. Vela at City regarding download sharefile notification Traffic Impact Analysis with documents attached	2	AR011261
150.	February 1, 2022 - February 6, 2022	Bulk Emails to Banning public records from L. Sampson	2	AR016541
88.	August 2, 2021	California, Inc. Re Banning 47 – Sun Lakes Blvd (18014001) Response to “PWQMP PC1 Memo” dated June 24, 2021	1	AR010526
25.	December 8, 2020	City Council Meeting Agenda City Council Report Attachments: 1. Resolution 2020-141 2. Ordinance 1571 3. Sun Lakes Village Specific Plan Amendment 5 4. Public Hearing Notice 5. Draft Environmental Impact Report 6. Final Environmental Impact Report (EIR) a. Administrative Response to Lake Comment Letter b. Comments on Final EIR c. Supplemental Comments on Final EIR	1	AR005944
269.	July 9, 2024	City Council Regular Meeting Agenda	3	AR022831
344.	September 10, 2024	City Council Regular Meeting Agenda	4	AR027828
350.	October 8, 2024	City Council Regular Meeting Agenda	4	AR029803
227.	June 11, 2024	City Council Regular Meeting Agenda (ITEM 9.1 REMOVED AND NOT HEARD)	3	AR020770
345.	September 10, 2024	City Council Resolution No. 2024-151 A Resolution Of The City Council Of The City Of Banning, California, (1) Disapproving Tentative Parcel Map No. 38164, A	4	AR027833

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		Proposed Subdivision Of Approximately 47 Gross Acres Of Vacant Land Into Three Parcels; (2) Denying Design Review No. 21-7008 A Proposed Construction Of A 619,959 Square Foot Industrial Warehouse Building, Including 10,000 Square Feet Of Office Space And A Combined 34,000 Square Feet Of Retail/ Commercial Buildings, On Real Property Located Within The Boundaries Of The Sun Lakes Village North Specific Plan Area (APN: 419-140-057), (3) Making A Determination Of Exemption Under Section 15720(A) Of The California Environmental Quality Act (CEQA) Guidelines		
159.	February 17, 2022	City Council Special Meeting Minutes Public Record Materials: 1. Public Comment submitted by Pass Area Action Group – Received 1/24/2022 2. Project CEQA Consultant Response to Comments – Received 2/15/2022 3. Allen Matkins Leck Gamble Mallory & Natsis LLP Letter of Support – Received 2/16/2022 4. Appellant Supplement Letter – Received 2/16/2022 5. Project CEQA Consultant Response to Comments – Received 2/17/2022	2	AR019725
81.	June 29, 2021	City of Banning Building and Safety Comments Re DR 21-7008	1	AR009901
105.	September 23, 2021	City of Banning Electric Utility – 2 nd Submittal Electric Comments	2	AR011205
12.	December 29, 2019	CLTA Preliminary Title Report	1	AR002329
13.	December 29, 2019	CLTA Preliminary Title Report (Redlines)	1	AR002343

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37.	March 19, 2021	Conceptual Colored Elevations and Material Board	1	AR008540
52.	April 29, 2021	Conceptual Colored Elevations and Material Board	1	AR009557
112.	October 5, 2021	Conceptual Colored Elevations and Material Board – Warehouse Bldg.	2	AR011374
41.	April 16, 2021	Conceptual Grading Plan	1	AR008608
90.	August 5, 2021	Conceptual Grading Plan	1	AR010796
91.	August 5, 2021	Conceptual Grading Plan (Redline)	1	AR010801
42.	April 16, 2021	Conceptual Grading Plan (Redlines)	1	AR008611
43.	April 16, 2021	Conceptual Grading Plan (Response)	1	AR008614
115.	October 6, 2021	Conceptual Landscape Plan	2	AR011380
96.	September 7, 2021	Design Review 2nd Submittal	1	AR011024
97.	September 7, 2021	Design Review 2nd Submittal, Approved by Building & Safety Department 9-7-21	1	AR011026
98.	September 7, 2021	Design Review 2nd Submittal, Approved by Fire Department 9-14-21	1	AR011028
62.	June 9, 2021	Design Review Transmittal	1	AR009712
63.	June 9, 2021	Design Review Transmittal, Approved by Building and Safety Department 06/29/2021	1	AR009714
64.	June 9, 2021	Design Review Transmittal, Approved by Fire Department 06/16/2021	1	AR009716
1.		DR 21-7008 Aerial base Map	1	AR000001
2.		DR 21-7008 Development Opportunities Map	1	AR000002
3.		DR 21-7008 Vicinity Map	1	AR000003
4.		DR 21-7008 Zoning Map	1	AR000004
7.	June 3, 2011	Draft Environmental Impact Report – Butterfield Specific Plan	1	AR000097
142.	December 21, 2021	Email and Letter from City Attorney Kevin Ennis Re NOD	2	AR015437
312.	September 4, 2024	Email from A. Gomez to D. Schulze Re Banning Point Memo to Banning CC	4	AR027588
180.	May 21, 2024	Email From A. Rush to J. Zemon Re inadequate notice of hearing	2	AR020660
185.	May 30, 2024	Email from A. Rush to S. Calderon Re June 11 CC Meeting	2	AR020669

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175.	May 20, 2024	Email from A. Rush to S. Calderon Re SmartGov	2	AR020651
118.	October 9, 2021	Email from B. Filadelfia Re Opposition to industrial warehouse at the Sun Lakes Village	2	AR011629
213.	June 10, 2024	Email from B. Ruano to City Clerk Re Banning Point vote	3	AR020744
239.	July 8, 2024	Email from B. Ruano to City Clerk Re vote	3	AR022761
216.	June 10, 2024	Email from B. Ruano to R. Minjares Re Attachment with vote no	3	AR020747
224.	June 10, 2024	Email from C. Medley to S. Calderon Re vote	3	AR020767
249.	July 8, 2024	Email from C. Medley to S. Calderon Re vote	3	AR022778
311.	September 4, 2024	Email from C. Patton to A. Gomez re Banning Point Memo to Banning CC	4	AR027587
309.	September 4, 2024	Email from C. Patton to CC Re Communication re Banning Point Project	4	AR027571
210.	June 6, 2024	Email from C. Patton to D. Ferreira Re Banning Point comments	3	AR020738
339.	September 10, 2024	Email from C. Patton to E. Papp Re Application presentation	4	AR027774
203.	June 5, 2024	Email from C. Patton to F. Matzen Re Banning Point comments	3	AR020701
302.	August 23, 2024	Email from C. Patton to G. Phelps Re Speaking at the Aug CC mtg re Banning Point Warehouse	4	AR025991
333.	September 10, 2024	Email from C. Patton to G. Phelps Re Speaking on Banning Point Whse - Agenda 8.2	4	AR027740
265.	July 9, 2024	Email from C. Patton to K. Bundy Re 7-9-24 CC Agenda	3	AR022825
326.	September 9, 2024	Email from C. Patton to K. Bundy Re 9-10-24 Agenda Item 8.2 - Banning Point project	4	AR027661
336.	September 10, 2024	Email from C. Patton to K. Bundy re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Pt)	4	AR027743
287.	August 9, 2024	Email from C. Patton to K. Bundy re Banning Point Project - City Council hearing	3	AR025971

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291.	August 13, 2024	Email from C. Patton to K. Bundy Re Banning Point Project - City Council hearing	3	AR025976
182.	May 22, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020665
188.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020678
189.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020680
191.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020684
204.	June 6, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	3	AR020702
205.	June 6, 2024	Email from C. Patton to K. Bundy Re Inadequate notice of hearing	3	AR020705
284.	July 25, 2024	Email from C. Patton to K. Preston Re Banning Point Project	3	AR025967
327.	September 9, 2024	Email from C. Patton to N. Campos Re Banning Point Project, City Council Agenda Item 8.2	4	AR027662
234.	July 1, 2024	Email from C. Patton to P. Gosney Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022750
235.	July 1, 2024	Email from C. Patton to P. Gosney Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting (Second Email)	3	AR022753
258.	July 8, 2024	Email from C. Patton to R. Robbins Re PAG documents	3	AR022800
261.	July 8, 2024	Email from C. Pierro to A. Sanchez Re traffic and health reasons	3	AR022803
268.	July 9, 2024	Email from C. Wallace to R. Boyle Re S. Flynn attending PAG meeting and participating	3	AR022830
296.	August 14, 2024	Email from City Manager by L. Sampson to D. Schulze Re Sun Lakes Village	3	AR025983
211.	June 6, 2024	Email from D. Ferreira to A. Sanchez Re Banning Point opposition	3	AR020739
246.	July 8, 2024	Email from D. Ferreira to A. Sanchez Re opposition	3	AR022769
208.	June 6, 2024	Email from D. Ferreira to C. Wallace Re Banning Point opposition	3	AR020736

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334.	September 10, 2024	Email from D. Ferreira to C. Wallace re Banning Point Project	4	AR027741
206.	June 6, 2024	Email from D. Ferreira to City Clerk Re Banning Point opposition	3	AR020708
242.	July 8, 2024	Email from D. Ferreira to City Clerk Re opposition	3	AR022765
243.	July 8, 2024	Email from D. Ferreira to City Council and Mayor Re opposition	3	AR022766
244.	July 8, 2024	Email from D. Ferreira to Councilwoman C. Wallace Re opposition	3	AR022767
209.	June 6, 2024	Email from D. Ferreira to D. Happe Re Banning Point opposition	3	AR020737
245.	July 8, 2024	Email from D. Ferreira to D. Happe Re opposition	3	AR022768
247.	July 8, 2024	Email from D. Ferreira to D. Schulze Re opposition	3	AR022770
279.	July 11, 2024	Email from D. Nethercott to A. Sanchez Re 7-9-24 CC Meeting	3	AR025932
278.	July 11, 2024	Email from D. Nethercott to C. Wallace Re 7-9-24 CC Meeting	3	AR025931
280.	July 11, 2024	Email from D. Nethercott to S. Flynn thanking her for hard work	3	AR025933
257.	July 8, 2024	Email from D. Schulze to C. Patton Re opposition	3	AR022799
250.	July 8, 2024	Email from D. Shulze to C. Patton Re opposition	3	AR022779
313.	September 24, 2024	Email from Doug Schulze to A. Gomez Re Banning Point Memo to Banning CC	4	AR027604
338.	September 10, 2024	Email from E. Papp to C. Patton re Banning Point - Application Presentation	4	AR027747
219.	June 10, 2024	Email from E. Papp to J. Zemon Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR020753
328.	September 9, 2024	Email from E. Papp to J. Zemon Re 9-10-24 Agenda Item 8.2, Banning Point project	4	AR027663
330.	September 10, 2024	Email from E. Papp to J. Zemon Re Banning Point - Applicant Presentation	4	AR027697

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222.	June 10, 2024	Email from E. Papp to J. Zemon Re CC Consent Item 6.10 and Public Hearing Item 7.1`	3	AR020761
314.	September 4, 2024	Email from E. Papp to J. Zemon Re Correspondence re Banning Point Project	4	AR027605
316.	September 5, 2024	Email from E. Papp to J. Zemon Re Correspondence re Banning Point Project	4	AR027629
197.	June 5, 2024	Email from E. Papp to J. Zemon Re June 11 Hearing to touch base		AR020693
343.	September 10, 2024	Email from E. Papp to J. Zemon Re Pass Action Group Letter to City Council 8-29-24	4	AR027805
299.	August 19, 2024	Email from E. Papp to M. Valenzuela Re TPM for Banning Point	3	AR025986
320.	September 6, 2024	Email from E. Papp to N. Criste Re Agenda Packet for Council - Sun Lakes Village	4	AR027636
321.	September 6, 2024	Email from E. Papp to N. Criste Re Agenda Packet for Council - Sun Lakes Village	4	AR027637
340.	September 10, 2024	Email from E. Papp to P. Gosney Re Application presentation	4	AR027777
297.	August 14, 2024	Email from E. Papp to P. Gosney Re Banning Point Project - City Council Agenda Planning	3	AR025984
331.	September 10, 2024	Email from E. Papp to S. Calderon Re PowerPoint Presentation for Print - Banning Point	4	AR027699
300.	August 22, 2024	Email from G. Johnson to A. Sanchez Re Banning Point Warehouse project	3	AR025988
238.	July 6, 2024	Email from G. Johnson to A. Sanchez Re traffic congestion	3	AR022760
171.	May 15, 2024	Email from G. Kingdon to S. Calderon Re Radius Labels	2	AR020633
173.	May 17, 2024	Email from G. Kingdon to S. Calderon Re Radius Labels	2	AR020641
303.	August 26, 2024	Email from G. Phelps to C. Patton Re Speaking at the Aug CC Mtg re Banning Point Warehouse	4	AR025993

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335.	September 10, 2024	Email from G. Phelps to C. Patton re Speaking on Banning Point Whse - Agenda 8.2	4	AR027742
301.	August 23, 2024	Email from G. Phelps to D. Schulze Re Speaking at the Aug CC mtg re Banning Point Whse	4	AR025989
322.	September 9, 2024	Email from G. Phelps to D. Schulze Re Speaking on Banning Point Whse - Agenda 8.2	4	AR02739
251.	July 8, 2024	Email from H. Tabachnik to C. Patton Re opposition	3	AR022780
220.	June 10, 2024	Email from J. Condas to E. Papp Re CC Consent Item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020755
167.	May 15, 2024	Email from J. Everett to J. Zemon Re Radius Labels	2	AR020619
295.	August 13, 2024	Email from J. Hannahs to A. Sanchez Re Banning Point Warehouse	3	AR025982
294.	August 13, 2024	Email from J. Hannahs to C. Wallace Re Banning Point Warehouse	3	AR025981
323.	September 9, 2024	Email from J. Hannahs to J. Hannahs Re Banning Point	4	AR027642
293.	August 13, 2024	Email from J. Hannahs to S. Flynn Re Banning Point	3	AR025980
241.	July 8, 2024	Email from J. Sherman to A. Rush Re opposition	3	AR022764
276.	July 10, 2024	Email from J. Sherman to K. Gutierrez Re project opposition	3	AR025929
329.	September 10, 2024	Email from J. Zemon to E. Papp re Banning Point - Applicant Presentation	4	AR027673
218.	June 10, 2024	Email from J. Zemon to E. Papp Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR020751
221.	June 10, 2024	Email from J. Zemon to E. Papp Re CC consent item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020758
223.	June 10, 2024	Email from J. Zemon to E. Papp Re CC Consent Item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020764
315.	September 5, 2024	Email from J. Zemon to E. Papp Re Correspondence re Banning Point Project	4	AR027627

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317.	September 5, 2024	Email from J. Zemon to E. Papp Re Correspondence re Banning Point Project	4	AR027631
195.	June 5, 2024	Email from J. Zemon to E. Papp Re June 11 Hearing to touch base	2	AR020689
168.	May 15, 2024	Email from J. Zemon to J. Everett Re Radius Labels	2	AR020621
240.	July 8, 2024	Email from K. and R. Nemire to A. Sanchez Re Letter regarding opposition	3	AR022762
318.	September 5, 2024	Email from K. Bundy to C. Patton Re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Point)	4	AR027634
337.	September 10, 2024	Email from K. Bundy to C. Patton Re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Pt)	4	AR027745
286.	August 9, 2024	Email from K. Bundy to C. Patton re Banning Point Project - City Council hearing	3	AR025970
288.	August 9, 2024	Email from K. Bundy to C. Patton Re Banning Point Project - City Council hearing	3	AR025972
292.	August 13, 2024	Email from K. Bundy to C. Patton Re Banning Point Project - City Council hearing	3	AR025978
183.	May 22, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	2	AR020666
190.	June 4, 2024	Email from K. Bundy to C. Patton Re Inadequate notice of hearing	2	AR020682
196.	June 4, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	2	AR020690
201.	June 5, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	3	AR020697
212.	June 7, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	3	AR020740
225.	June 10, 2024	Email from K. Bundy to C. Patton Re rescheduling hearing	3	AR020768
325.	September 9, 2024	Email from K. Bundy to CC Re 9-10-24 Agenda Item 8.2 - Banning Point project	4	AR027651
306.	August 29, 2024	Email from K. Bundy to CC Re Correspondence re Banning Point Project	4	AR027526

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307.	August 29, 2024	Email from K. Bundy to CC Re Correspondence re Banning Point Project (Second Email)	4	AR027548
179.	May 21, 2024	Email from K. Bundy to City Clerk Re PAG and inadequate notice of hearing	2	AR020657
342.	September 10, 2024	Email from K. Bundy to City Council Re CC 9-10-2024 Agenda	4	AR027782
262.	July 9, 2024	Email from K. Bundy to City Council Re PAG Comments	3	AR022804
248.	July 8, 2024	Email from K. Dale to C. Patton Re comments	3	AR022771
263.	July 9, 2024	Email from K. Dale to City Clerk Re 7-9-24 CC Meeting and the project	3	AR022813
281.	July 11, 2024	Email from K. Dale to E Papp re Banning Point - Legible Parcel Map	3	AR025934
277.	July 10, 2024	Email from K. Gutierrez to E. Papp Re opposition	3	AR025930
285.	July 25, 2024	Email from K. Preston to C. Patton Re Banning Point Project	3	AR025968
283.	July 25, 2024	Email from K. Preston to CC Re Banning Point Project	3	AR025951
215.	June 10, 2024	Email from L. Sampson to B. Ruano Re Banning Point vote	3	AR020746
217.	June 10, 2024	Email from L. Sampson to C. Patton Re Banning Point Warehouse Project	3	AR020749
253.	July 8, 2024	Email from M. Johnson to A. Sanchez Re opposition	3	AR022782
260.	July 8, 2024	Email from M. Johnson to C. Wallace Re opposition	3	AR022802
256.	July 8, 2024	Email from M. Johnson to D. Happe Re opposition	3	AR022798
252.	July 8, 2024	Email from M. Johnson to D. Schulze Re opposition	3	AR022781
254.	July 8, 2024	Email from M. Johnson to R. Minjares Re opposition	3	AR022783
324.	September 9, 2024	Email from N. Campos to City Clerks Re Banning Point Project, City Council Agenda Item 8.2	4	AR027643
319.	September 5, 2024	Email from N. Criste to E. Papp Re Agenda Packet and Resolutions	4	AR027635
341.	September 10, 2024	Email from P. Gosney to E. Papp Re Application presentation	4	AR027779

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332.	September 10, 2024	Email from P. Gosney to E. Papp Re Banning Point - Applicant Presentation	4	AR027713
298.	August 14, 2024	Email from P. Gosney to E. Papp Re Banning Point Project - City Council Agenda Planning	3	AR025985
233.	July 1, 2024	Email From P. Gosney to J. Condas and E. Papp Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022747
230.	June 24, 2024	Email From P. Gosney to J. Condas Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022716
236.	July 5, 2024	Email from P. Jackson to City Clerk Re objection to Banning Point project	3	AR022757
202.	June 5, 2024	Email from P. Jackson to S. Calderon Re objections to Banning Point	3	AR020700
267.	July 9, 2024	Email from R. Minjares to R. Minjares Re 7-9-24 CC Public Hearing	3	AR022827
192.	June 4, 2024	Email from R. Reddig to City Clerk Re Banning Point objection	2	AR020686
255.	July 8, 2024	Email from R. Robbins to C. Patton Re 7-9-24 Presentation	3	AR022784
259.	July 8, 2024	Email from R. Robbins to C. Patton Re PAG documents	3	AR022801
184.	May 30, 2024	Email from S. Calderon to A. Rush Re June 11 CC Meeting	2	AR020668
176.	May 20, 2024	Email from S. Calderon to A. Rush Re SmartGov	2	AR020653
177.	May 20, 2024	Email from S. Calderon to A. Rush Re SmartGov	2	AR020654
193.	June 5, 2024	Email from S. Calderon to C. Patton Re Banning Point with message Email from F. Matzen	2	AR020687
198.	June 5, 2024	Email from S. Calderon to C. Patton Re Banning Point with message Email from S. Dills	2	AR020694
264.	July 9, 2024	Email from S. Calderon to E. Papp Re 7-9-24 CC Meeting Agenda	3	AR022816
207.	June 6, 2024	Email from S. Calderon to E. Papp Re Affidavit of Mailing	3	AR020709

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231.	June 25, 2024	Email from S. Calderon to E. Papp Re Affidavits of Mailing and Posting Notice of Hearing	3	AR022719
172.	May 15, 2024	Email from S. Calderon to G. Kingdon Re Radius Labels	2	AR020637
174.	May 17, 2024	Email from S. Calderon to G. Kingdon Re Radius Labels	2	AR020646
186.	June 3, 2024	Email from S. Calderon to J. Zemon Re Banning Point Project and June 11	2	AR020670
169.	May 15, 2024	Email from S. Calderon to J. Zemon Re Radius Labels	2	AR020625
170.	May 15, 2024	Email from S. Calderon to J. Zemon Re Radius Labels	2	AR020629
181.	May 22, 2024	Email from S. Calderon to K. Bundy Re inadequate notice of hearing	2	AR020664
187.	June 3, 2024	Email from S. Calderon to Public Works Group Re June 11 CC Meeting	2	AR020674
67.	June 9, 2021	Email from S. Calderon to R. Miller Re out of office	1	AR009762
178.	May 20, 2024	Email from S. Dailey v. A. Sanchez Re Project Vote No	2	AR020656
194.	June 5, 2024	Email from S. Dills to S. Calderon Re Banning Point approval	2	AR020688
266.	July 9, 2024	Email from S. Flynn to C. Patton Re 7-9-24 CC Agenda	3	AR022826
308.	August 30, 2024	Email from S. Flynn to K. Dale Re Correspondence re Banning Point Project	4	AR027570
310.	September 4, 2024	Email from Sun Lakes Highland to CC Members Re Banning Point Project (Memo)	4	AR027572
214.	June 10, 2024	Email from T. Leamy to C. Wallace Re Banning Point vote	3	AR020745
232.	June 30, 2024	Email from T. Leamy to C. Wallace Re Banning Point vote NO	3	AR022746
226.	June 11, 2024	Email from T. Leamy to C. Wallace Re vote	3	AR020769
237.	July 6, 2002	Email from T. Leamy to C. Wallace Re vote	3	AR022759
289.	August 10, 2024	Email from V. De Bry to D. Happe Re Banning Point	3	AR025974

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290.	August 10, 2024	Email from V. De Bry to R. Minjares Re Banning Point	3	AR025975
71.	June 22, 2021	Engineering Department 3.1 Grading Plan Checklist	1	AR009789
10.	November 2018	Final Environmental Impact Report – Banning Distribution Center	1	AR002112
8.	December 2011	Final Environmental Impact Report – Butterfield Specific Plan	1	AR000944
200.	June 5, 2024	From C. Patton to R. Reddig Re Banning Point comments	2	AR020696
199.	June 5, 2024	From C. Patton to S. Dills Re Banning Point comments	2	AR020695
35.	March 10, 2021	Geotechnical Investigation Proposed Banning Point Development	1	AR008410
36.	March 10, 2021	Geotechnical Investigation Proposed Banning Point Development(Redlines)	1	AR008474
38.	March 30, 2021	Infiltration Report	1	AR008547
39.	March 30, 2021	Infiltration Report (Redlines)	1	AR008577
157.	February 16, 2022	Letter from Allen Matkins to Mayor and City Council Re Approve the Banning Point Development (Design Review 21-7008 and Parcel Map 38164) and Deny the Appeal Filed by Pass Action Group	2	AR018745
78.	June 28, 2021	Letter from Engineering Resources of Southern California, Inc. to Kevin Sin, PE, Public Works/Engineering Department Re Sun Lakes Blvd & Sun Lakes Village – Soils Report – Approval Letter	1	AR009898
79.	June 28, 2021	Letter from Engineering Resources of Southern California, Inc. to Kevin Sin, PE, Public Works/Engineering Department Re Sun Lakes Blvd & Sun Lakes Village – Infiltration Report – Approval Letter	1	AR009899
140.	December 16, 2021	Letter from M. Burton and cover email to City Attorney Re NOD	2	AR015262
282.	July 25, 2024	Letter from Project Applicant to CC Re Banning Point Project	3	AR025936
138.	December 7, 2021	Letter from Shute Mihaly Weinberger, LLP to Adam B. Rush,	2	AR014923

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		AICP, Community Development Director Re Planning Commission Approval of Design Review 21-7008 and Tentative Parcel Map 38164		
149.	January 24, 2022	Letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Appeal of Sun Lakes Village North Design Review 21-7008 and Opposition to Tentative Parcel Map 38164	2	AR016113
152.	February 10, 2022	Letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Recusal of Mayor Pro Tem Colleen Wallace, Councilmember Mary Hamlin, and Councilmember Alberto Sanchez from Consideration of Design Review 21-7008 and Tentative Parcel Map 38164	2	AR017425
349.	September 25, 2024	Letter from SLH to City Council	4	AR029770
160.	February 17, 2022	Letter from Urban Crossroads to Adam Rush, City of Banning Re (Design Review 21-7008 & Tentative Parcel Map 38164): Responses to Comments Submitted on February 15, 2022, by Shute Mihaly & Weinberger on Behalf of the Pass Area Action Group	2	AR019768
155.	February 15, 2022	Letter from Urban Crossroads to Adam Rush, City of Banning Re Banning Point Development (Design Review 21-7008 & Tentative Parcel Map 38164): Responses to Comments Submitted by Shute Mihaly & Weinberger on Behalf of the Pass Area Action Group	2	AR018281
75.	June 24, 2021	Memorandum from City of Banning Civil Engineer to Adam Rush Re Engineering Conditions of Approval for DR 21-7008 (NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)	1	AR009803

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116.	October 6, 2021	Memorandum from City of Banning Civil Engineer to Adam Rush Re Engineering Conditions of approval for DR 21-7008 (NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)	2	AR011381
72.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Tentative Parcel Map No. 38164 PC1 Memo	1	AR009799
73.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Tentative Parcel Map No. 38164 PC1 Memo and Responses	1	AR009800
74.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Conceptual Grading, Utilities & Storm Drain Plan - PC1 Memo	1	AR009801
76.	June 24, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Sun Lakes Village - PWQMP - PC1 Memo	1	AR009811
80.	June 28, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Sun Lakes Village – Preliminary Hydrology Report - PC1 Memo	1	AR009900
99.	September 9, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – Banning 47 – Sun Lakes Village - PWQMP - PC2 Memo	1	AR011030
101.	September 10, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – Sun Lakes Blvd. – Conceptual Grading, Utilities & Storm Drain Plan – PC2 – Memo ERSC Job No. 18014001/165	2	AR011076
102.	September 10, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – TPM 21-4001 – TPM 38164 PC2 Memo	2	AR011078
103.	September 13, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 - 165 – Banning 47 –	2	AR011079

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		Sun Lakes Village – Preliminary Hydrology Report - PC2 Memo		
107.	September 27, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re City of Banning – Banning Point (TPM 38164) – Trip Generation Assessment – PC1 Memo	2	AR011259
108.	September 27, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re City of Banning – Banning Point (TPM 38164) – Vehicle Miles Traveled (VMT) Analysis – PC1 Memo	2	AR011260
58.	May 27, 2021	MIG Submittal Letter to Planning Department	1	AR009656
270.	July 9, 2024	Minutes of City Council Regular Meeting	3	AR022836
346.	September 10, 2024	Minutes of City Council Regular Meeting	4	AR027843
351.	October 8, 2024	Minutes of City Council Regular Meeting	4	AR029807
228.	June 11, 2024	Minutes of City Council Regular Meeting (SHOWS 9.1 REMOVED FROM AGENDA AND NOT HEARD)	3	AR020775
113.	October 5, 2021	Narrative of changes from LGE Project Team Re Banning Point – DR 21-7008	2	AR011375
5.	Various	News Articles, Social Media Posts, Text Messages	1	AR000005
17.	September 11, 2020	Notice of Availability of Draft Environmental Impact Report	1	AR004166
16.	September 10, 2020	Notice of Completion & Environmental Document Transmittal	1	AR003665
133.	December 1, 2021	Notice of Determination	2	AR014115
161.	February 17, 2022	Notice of Determination	2	AR019772
14.	February 21, 2020	Notice of Preparation of an Environmental Impact Report and Scoping Meeting for Sun Lakes Village North Specific Plan Amendment No. 6 Attachments:	1	AR002357

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		Figure 1. Project Location Map/Aerial Photo Figure 2. Proposed Land Use Plan February 18, 2020 Initial Study Sun Lakes Village North Specific Plan Amendment No. 6		
271.	July 9, 2024	Notice of Public Hearing	3	AR022990
24.	November 20, 2020	Notice of Public Hearing for CC Meeting of December 8, 2020	1	AR005941
18.	October 20, 2020	Notice of Public Hearing for PC Meeting of November 4, 2020	1	AR004169
127.	November 19, 2021	Notice of Public Hearing for the December 1, 2021 Planning Commission Meeting	2	AR013275
29.	January 12, 2021	Ordinance No. 1571 [Unsigned version]	1	AR008029
30.	January 12, 2021	Ordinance No. 1571: An Ordinance Of The City Council Of The City Of Banning, California, Approving Zone Change No. 20-3501 To Amend The Zoning Ordinance To Incorporate The Text Of The Sun Lakes Village North Specific Plan Amendment 5 (Specific Plan Amendment No. 20-2001) Into The Zoning Ordinance	1	AR008035
54.	April 30, 2021	Overall Site Plan with comments	1	AR009618
55.	April 30, 2021	Overall Site Plans	1	AR009619
65.	June 9, 2021	Planning & Zoning Payment Receipt	1	AR009718
121.	October 19, 2021	Planning Commission Meeting Action Minutes	2	AR011881
20.	November 4, 2020	Planning Commission Meeting Agenda Planning Commission Staff Report Attachments: 1. Resolution 2020-21 with Conditions of Approval 2. Resolution 2020-22 3. Specific Plan Amendment No. 5 4. Draft EIR North Specific Plan Amendment No. 5 5. Final EIR North Specific Plan Amendment No. 5 Public Hearing Notice	1	AR004227

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134.	December 1, 2021	Planning Commission Regular Meeting Action Minutes	2	AR014117
56.	April 30, 2021	Plans – Architectural Set	1	AR009630
44.	April 16, 2021	Preliminary Hydrology Report	1	AR008618
92.	August 5, 2021	Preliminary Hydrology Report	1	AR010806
45.	April 16, 2021	Preliminary Hydrology Report (Redlined)	1	AR008757
40.	April 8, 2021	Preliminary Landscape Plan	1	AR008607
89.	August 2, 2021	Preliminary Water Quality Management Plan Prepared: 4/19/2021 Revision Date: 8/2/2021	1	AR010528
59.	May 27, 2021	Project Description	1	AR009657
93.	August 9, 2021	Project Description Banning Point LGE / Design Build	1	AR010968
272.	July 9, 2024	Proof of Publication	3	AR022992
128.	November 19, 2021	Proof of Publication for the December 1, 2021 Planning Commission Meeting	2	AR013280
146.	January 21, 2022	Proof of Publication of January 31, 2022 City Council Public Hearing	2	AR015676
57.	May 18, 2021	Property Owners Certification Form and GIS Mailing Labels	1	AR009646
33.	January 29, 2021	Public Hearing Notice Certificate of Mailing	1	AR008080
114.	October 5, 2021	Public Hearing Notice for October 19, 2021 PC Meeting	2	AR011378
9.	June 2016	Rancho San Geronio Specific Plan Draft Environmental Impact Report	1	AR001433
11.	November 13, 2019	Rendering Concept 5 – North Entry View	1	AR002328
31.	January 25, 2021	Renderings Concept 5 – North Entry View (Retail)	1	AR008042
26.	December 8, 2020	Resolution 2020-141: A Resolution of the City Council of the City of Banning Recommending that the City Council of the City Banning Certify an Environmental Impact Report and Adopt a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program for a Specific Plan Amendment of Approximately 47 Gross Acres Located between Sun Lakes	1	AR007742

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		Boulevard And Interstate 10 Approximately 840 Feet East of Highland Springs Avenue. The Project Site is also identified as assessor's parcel number 419-140-057 to update the existing specific plan document to amend the specific plan land use plan from retail commercial (auto dealer) to business park & warehouse (BW), office & professional (OP), AND retail & service (RS). The Specific Plan is also Proposed to be Amended to Revise the Permitted Land Uses; Development Standards (Including Maximum Building Height, Setbacks, Open Space, Landscaping, Parking, and Signage); Design Guidelines For Development; and Administration And Implementation Provisions, and Approve Specific Plan Amendment No. 20-2001, Zone Change No. 20- 3501, Environmental Assessment No. 20-1502.		
27.	December 8, 2020	Resolution 2020-141[Unsigned version]	1	AR007856
21.	November 4, 2020	Resolution 2020-21: Resolution of the Planning Commission of the City of Banning, California, Recommending that the City Council Adopt the Sun Lakes Village North Specific Plan Amendment 5 (Specific Plan Amendment No. 20-2001); Approve Zone Change No. 20-3501 to Amend the Zoning Ordinance Text; and Certify the Final Environmental Impact Report (SCH No. 2020029074) (Environmental Assessment No. 201502) and Adopt Findings of Fact, A Statement of Overriding Considerations, and a Mitigation Monitoring and Reporting Program	1	AR005711

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22.	November 4, 2020	Resolution 2020-22 [Unsigned version]	1	AR005734
23.	November 4, 2020	Resolution 2020-22: A Resolution of the Planning Commission of the City of Banning Recommending that the City Council of the City Banning Certify an Environmental Impact Report and Adopt a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program for a Specific Plan Amendment of approximately 47 Gross Acres Located between Sun Lakes Boulevard and Interstate 10 Approximately 840 Feet East of Highland Springs Avenue. The Project Site is also Identified as Assessor's Parcel Number 419-140-057 to Update the Existing Specific Plan Document to Amend the Specific Plan Land Use Plan from Retail Commercial (Auto Dealer) to Business Park & Warehouse (BW), Office & Professional (OP), and Retail & Service (RS). The Specific Plan is also Proposed to be Amended to Revise the Permitted Land Uses; Development Standards (Including Maximum Building Height, Setbacks, Open Space, Landscaping, Parking, and Signage); Design Guidelines for Development; and Administration and Implementation Provisions, and Approve Specific Plan Amendment No. 20-2001, Zone Change No. 20-3501, Environmental Assessment No. 20-1502.	1	AR005837
135.	December 1, 2021	Resolution 2021-16: A Resolution of the Planning Commission of the City of Banning, California, Making Environmental Determinations Under CEQA Guidelines Section 15162, and Approving Design	2	AR0141121

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		Review 21-7008 & Tentative Parcel Map 38164, to Allow the Subdivision of 47 Acres Into Three (3) Commercial and Industrial Parcels for Financing Purposes and Permit the Construction of a Proposed Industrial Warehouse Building of 619,959 Square Feet on 47-Acres, Including 10,000 Square Feet of Office Space, and Six (6) Retail/Restaurant Buildings Totaling 34,000 Square Feet, on Real Property Located Within the Boundaries of the Sun Lakes Village North Specific Plan Amendment No. 5 (APN: 419-140-057)		
162.	February 17, 2022	Resolution 2022-14: A Resolution of the City Council Of The City Of Banning, California, (1) Approving Tentative Parcel Map No. 38164, Allowing the Subdivision of Approximately 47 Gross Acres of Vacant Land, Into Three Parcels; (2) Approving Design Review 21-7008 and Affirming the Planning Commission's Approval of that Application and Denying an Appeal of that Decision and Permitting the Construction of a Proposed Industrial Warehouse Building of 619,959 Square Feet, Including 10,000 Square Feet of Office Space, and Six Retail/Commercial Buildings Totaling 34,000 Square Feet, on Real Property Located within the Boundaries of the Sun Lakes Village North Specific Plan Amendment No. 5 (APN: 419-140-057); And (3) Adopting an Addendum Under the California Environmental Quality Act (CEQA) and Making Findings in Support thereof, including Finding of Consistency with the Certified Environmental Impact Report	2	AR019773

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		Prepared for Amendment No. 5 to the Sun Lakes Village North Specific Plan (SCH # 2020029074)		
274.	July 9, 2024	Resolution 2024-113	3	AR025680
94.	August 10, 2021	Response to Comments from LGE Project Team Re Banning Point – DR 21-7008	1	AR010973
153.	February 10, 2022	See Tab 151 (Banning Point Addendum / Consistency Checklist to the Sun Lakes Village North Specific Plan Amendment No. 5 Environmental Impact Report) above.	2	AR017454
163.	February 17, 2022	See Tab 162 (Resolution 2022-14) above.	2	AR019820
84.	July 29, 2021	Site Lighting Design	1	AR010373
6.		Site Photos	1	AR000095
273.	July 9, 2024	Staff Report for City Council Regular Meeting on July 9, 2024 with attachments: 1. Resolution 2024-114, DR 21-7008 Consideration.docx 2. Exhibit A - COAs.docx 3. PAAG Appeal Letter.pdf 4. December 1 2021 Regular Planning Commission Meeting.pdf 5. TPM 38164.pdf 6. DR 21-7008 Plans.pdf 7. Addendum Consistency Checklist.pdf 8. Approved PC Minutes October 19, 2021.pdf 9. December 1, 2021 PC Meeting Minutes.pdf 10. PC Resolution 2021-16.pdf 11. Resolution No. 2022-014.pdf 12. February 17, 2022 Special CC Meeting Minutes.pdf 13. 240409 Judgment Grant Peremptory Writ of Mandate SLH.pdf 14. March 15, 2024 Ruling.pdf 15. Public Comment Correspondence.pdf	3	AR022993

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		16. 10.19.2021 PC PHN.pdf 17. 12.01.2021 PC PHN.pdf 18. Public Hearing Notice - 06/11/2024 19. PHN_Banning Point_7.9.2024.pdf 20. 2024 06 28_PHN - Proof of Publication 21. Banning - Affidavits of Mailing and Posting of Notice of Public Hearing.pdf		
229.	June 11, 2024	Staff Report for City Council Regular Meeting on June 11, 2024 with attachments: NOT HEARD 1. Resolution 2024-88, Banning Point.docx 2. Exhibit A - Conditions of Approval.docx 3. PAAG Appeal Letter.pdf 4. December 1 2021 Regular Planning Commission Meeting.pdf 5. TPM 38164.pdf 6. DR 21-7008 Plans.pdf 7. Addendum Consistency Checklist.pdf 8. Approved PC Minutes October 19, 2021.pdf 9. December 1, 2021 PC Meeting Minutes.pdf 10. PC Resolution 2021-16.pdf 11. February 17, 2022 Special CC Meeting Minutes.pdf 12. 240409 Judgment Grant Peremptory Writ of Mandate SLH.pdf 13. Public Comment Correspondence.pdf 14. 10.19.2021 PC PHN.pdf 15. 12.01.2021 PC PHN.pdf 16. Public Hearing Notice - 06/11/2024	3	AR020803
352.	October 8, 2024	Staff Report for City Council Regular Meeting on October 8, 2024 with attachments:	4	AR029848

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		1. CC Resolution No. 2024-151.pdf 2. 2024-09-25 SLH Reconsideration Request.pdf 3. BMC 17.68.140 ___ Reconsideration..docx 4. CC Manual of Procedural Guidelines _Resolution 2023-34 - Copy.pdf		
347.	September 10, 2024	Staff Report for City Council Regular Meeting on September 10, 2024 with attachments: 1. TPM No. 38164.pdf 2. DR_21-7008_Plans.pdf 3. July 9, 2024 CC SR w_attachments.pdf 4. 2024-03-15_Order_re_Writ_of_Mandate.pdf 5. July 25, 2024 Letter from Project Applicant 6. August 29, 2024 Letter from Appellant 7. September 4, 2024 Memorandum from Project Applicant 8. Resolution 2024-149, Banning Point.docx 9. Exhibit A to Reso 2024-149 - COA.docx 10. Resolution 2024-150, Banning Point Approval of TPM and Denial of DR 11. Exhibit A to Reso 2024-150 - COA 12. Resolution 2024-151, Banning Pointe Denial of TPM and DR 13. 2024 07 09_Minutes_Regular Meeting.pdf 14. Addendum_Consistency_Checklist.pdf	4	AR027998
15.	September 9, 2020	Sun Lakes Village North Specific Plan Amendment No. 5 Draft	1	AR002429

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		Environmental Impact Report SCH No. 2020029074 <ul style="list-style-type: none"> • Appendix A- Notice of Preparation, Initial Study, Comment Letters • Appendix B- Air Quality and Greenhouse Gas Evaluation • Appendix C- Emissions from Alternatives • Appendix D- Habitat Assessment • Appendix E- Cultural Resources Records Search • Appendix F-Phase I Cultural Resources Assessment • Appendix G- Noise Monitoring • Appendix H- Traffic Analysis • Appendix I- Vehicle Miles Traveled (VMT) Analysis • Appendix J- Water Supply Assessment 		
19.	October 28, 2020	Sun Lakes Village North Specific Plan Amendment No. 5 Final Environmental Impact Report SCH No. 2020029074	1	AR004172
156.	February 15, 2022	Supplemental letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Design Review 21-7008 and Tentative Parcel Map 38164	2	AR018730
46.	April 19, 2021	Tentative Parcel Map No. 38164	1	AR008897
85.	July 29, 2021	Tentative Parcel Map No. 38164	1	AR010374
47.	April 19, 2021	Tentative Parcel Map No. 38164 (Redlines)	1	AR008898
86.	July 29, 2021	Tentative Parcel Map No. 38164 (Redlines)	1	AR010375
164.	February 17, 2022	Transcript of City Council Special Meeting	2	AR019867

ALPHABETICAL
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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
122.	October 19, 2021	Transcript of Planning Commission Meeting	2	AR011887
136.	December 1, 2021	Transcript of Planning Commission Meeting	2	AR014171
275.	July 9, 2024	Transcript of Video of City Council Meeting Agenda Item No. 7.1	3	AR025683
348.	September 10, 2024	Transcript of Video of City Council Meeting Agenda Item No. 8.2	4	AR029639
353.	October 8, 2024	Transcript of Video of City Council Meeting Agenda Item No. 9.1	4	AR030661
68.	June 10, 2021	Trip Generation Assessment	1	AR009763
110.	October 4, 2021	Trip Generation Assessment	2	AR011359
111.	October 4, 2021	Trip Generation Assessment Response to Comments	2	AR011369
60.	May 27, 2021	Uniform Development Application	1	AR009662
69.	June 10, 2021	Vehicle Miles Traveled Analysis	1	AR009771
48.	April 19, 2021	Water Quality Management Plan	1	AR008899
49.	April 19, 2021	Water Quality Management Plan (Redlined PC1 Draft PWQMP)	1	AR009093
50.	April 19, 2021	Water Quality Management Plan (Redlined PC2 Draft PWQMP)	1	AR009288

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13 Attorneys for Defendants
14 CITY OF BANNING and SHERI FLYNN

15
16 UNITED STATES DISTRICT COURT
17 CENTRAL DISTRICT OF CALIFORNIA, EASTERN DIVISION
18

19 SUN LAKES HIGHLAND, LLC, a
Delaware limited liability company,

20 Petitioner and Plaintiff,

21 v.

22 CITY OF BANNING, a municipal
23 corporation; SHERI FLYNN, an
individual; and DOES 1 through 10,
24 inclusive,

25 Respondents and
26 Defendants.

27 ///

Case No. 5:24-cv-02603-DTB

**CERTIFICATION OF
ADMINISTRATIVE RECORD**

Action Filed: December 6, 2024
Amended Petition Filed: March 31,
2025

Crtrm.: 4

Judge: Hon. David T. Bristow

1 I, Sandra B. Calderon, declare as follows:

2 1. I have personal knowledge of all the facts set forth in this certification,
3 and, if called as a witness, I could and would testify competently thereto.

4 2. I am the Acting Administrative City Clerk for the City of Banning
5 (“City”). In this capacity, I am responsible for City record keeping and I serve as
6 the City’s custodian of records.

7 3. Attached hereto as **Exhibit A** is a true and correct copy of the Index for
8 the Administrative Record for the above-entitled matter, prepared by counsel for the
9 City.

10 4. I am informed and believe that counsel for the City prepared the
11 Administrative Record by compiling and organizing true and correct copies of
12 documents regarding the application identified as Banning Point, including without
13 limitation documents submitted by proponents of the application, documents
14 submitted to the City by other parties concerning the application, comments
15 regarding the application, staff reports, public meeting agendas, and minutes and
16 transcripts of public meetings.

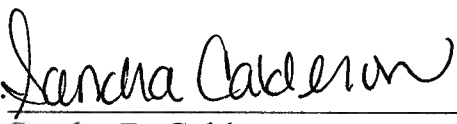
17 5. To the best of my knowledge, the Administrative Record is a complete
18 record of the documents from the administrative proceedings at issue in the above-
19 entitled matter, which Administrative Record has 353 tabbed documents, which are
20 Bates-stamped AR 000001 – 030661.

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1 I declare, under penalty of perjury, under the laws of the State of California
2 that the foregoing is true and correct.

3 Executed on this 30th day of July, 2025, at Banning, California.

4 CITY OF BANNING

5
6 By: 
7 Sandra B. Calderon
8 Acting Administrative City Clerk
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CHRONOLOGICAL
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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
1.		DR 21-7008 Aerial base Map	1	AR000001
2.		DR 21-7008 Development Opportunities Map	1	AR000002
3.		DR 21-7008 Vicinity Map	1	AR000003
4.		DR 21-7008 Zoning Map	1	AR000004
5.	Various	News Articles, Social Media Posts, Text Messages	1	AR000005
6.		Site Photos	1	AR000095
7.	June 3, 2011	Draft Environmental Impact Report – Butterfield Specific Plan	1	AR000097
8.	December 2011	Final Environmental Impact Report – Butterfield Specific Plan	1	AR000944
9.	June 2016	Rancho San Geronio Specific Plan Draft Environmental Impact Report	1	AR001433
10.	November 2018	Final Environmental Impact Report – Banning Distribution Center	1	AR002112
11.	November 13, 2019	Rendering Concept 5 – North Entry View	1	AR002328
12.	December 29, 2019	CLTA Preliminary Title Report	1	AR002329
13.	December 29, 2019	CLTA Preliminary Title Report (Redlines)	1	AR002343
14.	February 21, 2020	Notice of Preparation of an Environmental Impact Report and Scoping Meeting for Sun Lakes Village North Specific Plan Amendment No. 6 Attachments: Figure 1. Project Location Map/Aerial Photo Figure 2. Proposed Land Use Plan February 18, 2020 Initial Study Sun Lakes Village North Specific Plan Amendment No. 6	1	AR002357
15.	September 9, 2020	Sun Lakes Village North Specific Plan Amendment No. 5 Draft Environmental Impact Report SCH No. 2020029074 <ul style="list-style-type: none"> Appendix A- Notice of Preparation, Initial Study, Comment Letters Appendix B- Air Quality and Greenhouse Gas Evaluation 	1	AR002429

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		<ul style="list-style-type: none"> • Appendix C- Emissions from Alternatives • Appendix D- Habitat Assessment • Appendix E- Cultural Resources Records Search • Appendix F-Phase I Cultural Resources Assessment • Appendix G- Noise Monitoring • Appendix H- Traffic Analysis • Appendix I- Vehicle Miles Traveled (VMT) Analysis • Appendix J- Water Supply Assessment 		
16.	September 10, 2020	Notice of Completion & Environmental Document Transmittal	1	AR003665
17.	September 11, 2020	Notice of Availability of Draft Environmental Impact Report	1	AR004166
18.	October 20, 2020	Notice of Public Hearing for PC Meeting of November 4, 2020	1	AR004169
19.	October 28, 2020	Sun Lakes Village North Specific Plan Amendment No. 5 Final Environmental Impact Report SCH No. 2020029074	1	AR004172
20.	November 4, 2020	Planning Commission Meeting Agenda Planning Commission Staff Report Attachments: <ol style="list-style-type: none"> 1. Resolution 2020-21 with Conditions of Approval 2. Resolution 2020-22 3. Specific Plan Amendment No. 5 4. Draft EIR North Specific Plan Amendment No. 5 5. Final EIR North Specific Plan Amendment No. 5 Public Hearing Notice 	1	AR004227
21.	November 4, 2020	Resolution 2020-21: Resolution of the Planning Commission of the City	1	AR005711

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		of Banning, California, Recommending that the City Council Adopt the Sun Lakes Village North Specific Plan Amendment 5 (Specific Plan Amendment No. 20-2001); Approve Zone Change No. 20-3501 to Amend the Zoning Ordinance Text; and Certify the Final Environmental Impact Report (SCH No. 2020029074) (Environmental Assessment No. 201502) and Adopt Findings of Fact, A Statement of Overriding Considerations, and a Mitigation Monitoring and Reporting Program		
22.	November 4, 2020	Resolution 2020-22 [Unsigned version]	1	AR005734
23.	November 4, 2020	Resolution 2020-22: A Resolution of the Planning Commission of the City of Banning Recommending that the City Council of the City Banning Certify an Environmental Impact Report and Adopt a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program for a Specific Plan Amendment of approximately 47 Gross Acres Located between Sun Lakes Boulevard and Interstate 10 Approximately 840 Feet East of Highland Springs Avenue. The Project Site is also Identified as Assessor's Parcel Number 419-140-057 to Update the Existing Specific Plan Document to Amend the Specific Plan Land Use Plan from Retail Commercial (Auto Dealer) to Business Park & Warehouse (BW), Office & Professional (OP), and Retail & Service (RS). The Specific Plan is also Proposed to be Amended to Revise the Permitted Land Uses; Development Standards (Including	1	AR005837

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		Maximum Building Height, Setbacks, Open Space, Landscaping, Parking, and Signage); Design Guidelines for Development; and Administration and Implementation Provisions, and Approve Specific Plan Amendment No. 20-2001, Zone Change No. 20-3501, Environmental Assessment No. 20-1502.		
24.	November 20, 2020	Notice of Public Hearing for CC Meeting of December 8, 2020	1	AR005941
25.	December 8, 2020	City Council Meeting Agenda City Council Report Attachments: 1. Resolution 2020-141 2. Ordinance 1571 3. Sun Lakes Village Specific Plan Amendment 5 4. Public Hearing Notice 5. Draft Environmental Impact Report 6. Final Environmental Impact Report (EIR) a. Administrative Response to Lake Comment Letter b. Comments on Final EIR c. Supplemental Comments on Final EIR	1	AR005944
26.	December 8, 2020	Resolution 2020-141: A Resolution of the City Council of the City of Banning Recommending that the City Council of the City Banning Certify an Environmental Impact Report and Adopt a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program for a Specific Plan Amendment of Approximately 47 Gross Acres Located between Sun Lakes Boulevard And Interstate 10 Approximately 840 Feet East of Highland Springs Avenue. The Project Site is also identified as assessor's parcel number 419-140-057	1	AR007742

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		to update the existing specific plan document to amend the specific plan land use plan from retail commercial (auto dealer) to business park & warehouse (BW), office & professional (OP), AND retail & service (RS). The Specific Plan is also Proposed to be Amended to Revise the Permitted Land Uses; Development Standards (Including Maximum Building Height, Setbacks, Open Space, Landscaping, Parking, and Signage); Design Guidelines For Development; and Administration And Implementation Provisions, and Approve Specific Plan Amendment No. 20-2001, Zone Change No. 20-3501, Environmental Assessment No. 20-1502.		
27.	December 8, 2020	Resolution 2020-141[Unsigned version]	1	AR007856
28.	December 2, 2020 – December 9, 2020	Bulk Emails regarding environmental clean-up and demolition with City and A. Chacon, S. Kukett and G. Hill	1	AR007971
29.	January 12, 2021	Ordinance No. 1571 [Unsigned version]	1	AR008029
30.	January 12, 2021	Ordinance No. 1571: An Ordinance Of The City Council Of The City Of Banning, California, Approving Zone Change No. 20-3501 To Amend The Zoning Ordinance To Incorporate The Text Of The Sun Lakes Village North Specific Plan Amendment 5 (Specific Plan Amendment No. 20-2001) Into The Zoning Ordinance	1	AR008035
31.	January 25, 2021	Renderings Concept 5 – North Entry View (Retail)	1	AR008042
32.	January 4, 2021 - January 27, 2021	Bulk Emails regarding proposed project and dedications for street widening, sign diversion with Thienes Engineering, Inc.	1	AR008048
33.	January 29, 2021	Public Hearing Notice Certificate of Mailing	1	AR008080

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
34.	February 2, 2021 - February 22, 2021	Bulk Emails regarding November publication notices and invoices from Record Gazette to City	1	AR008083
35.	March 10, 2021	Geotechnical Investigation Proposed Banning Point Development	1	AR008410
36.	March 10, 2021	Geotechnical Investigation Proposed Banning Point Development(Redlines)	1	AR008474
37.	March 19, 2021	Conceptual Colored Elevations and Material Board	1	AR008540
38.	March 30, 2021	Infiltration Report	1	AR008547
39.	March 30, 2021	Infiltration Report (Redlines)	1	AR008577
40.	April 8, 2021	Preliminary Landscape Plan	1	AR008607
41.	April 16, 2021	Conceptual Grading Plan	1	AR008608
42.	April 16, 2021	Conceptual Grading Plan (Redlines)	1	AR008611
43.	April 16, 2021	Conceptual Grading Plan (Response)	1	AR008614
44.	April 16, 2021	Preliminary Hydrology Report	1	AR008618
45.	April 16, 2021	Preliminary Hydrology Report (Redlined)	1	AR008757
46.	April 19, 2021	Tentative Parcel Map No. 38164	1	AR008897
47.	April 19, 2021	Tentative Parcel Map No. 38164 (Redlines)	1	AR008898
48.	April 19, 2021	Water Quality Management Plan	1	AR008899
49.	April 19, 2021	Water Quality Management Plan (Redlined PC1 Draft PWQMP)	1	AR009093
50.	April 19, 2021	Water Quality Management Plan (Redlined PC2 Draft PWQMP)	1	AR009288
51.	April 20, 2021	Banning Point Preliminary Landscape Plan	1	AR009556
52.	April 29, 2021	Conceptual Colored Elevations and Material Board	1	AR009557
53.	April 25, 2021 - April 30, 2021	Bulk Emails regarding Costco follow-up from James Wurts and ECK Corp.	1	AR009559
54.	April 30, 2021	Overall Site Plan with comments	1	AR009618
55.	April 30, 2021	Overall Site Plans	1	AR009619
56.	April 30, 2021	Plans – Architectural Set	1	AR009630
57.	May 18, 2021	Property Owners Certification Form and GIS Mailing Labels	1	AR009646
58.	May 27, 2021	MIG Submittal Letter to Planning Department	1	AR009656
59.	May 27, 2021	Project Description	1	AR009657
60.	May 27, 2021	Uniform Development Application	1	AR009662

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
61.	May 5, 2021 - May 28, 2021	Bulk Emails regarding labor workforce statistics for City of Banning between G. Kingston and J. Wurtz	1	AR009669
62.	June 9, 2021	Design Review Transmittal	1	AR009712
63.	June 9, 2021	Design Review Transmittal, Approved by Building and Safety Department 06/29/2021	1	AR009714
64.	June 9, 2021	Design Review Transmittal, Approved by Fire Department 06/16/2021	1	AR009716
65.	June 9, 2021	Planning & Zoning Payment Receipt	1	AR009718
66.	June 7, 2021 - June 10, 2021	Bulk Emails between A. Steele and S. Calderon regarding Banning Point submittal	1	AR009722
67.	June 9, 2021	Email from S. Calderon to R. Miller Re out of office	1	AR009762
68.	June 10, 2021	Trip Generation Assessment	1	AR009763
69.	June 10, 2021	Vehicle Miles Traveled Analysis	1	AR009771
70.	June 16, 2021	Banning Fire Services – Office of the County Fire Marshal - Planning Case Conditions	1	AR009787
71.	June 22, 2021	Engineering Department 3.1 Grading Plan Checklist	1	AR009789
72.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Tentative Parcel Map No. 38164 PC1 Memo	1	AR009799
73.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Tentative Parcel Map No. 38164 PC1 Memo and Responses	1	AR009800
74.	June 22, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Conceptual Grading, Utilities & Storm Drain Plan - PC1 Memo	1	AR009801
75.	June 24, 2021	Memorandum from City of Banning Civil Engineer to Adam Rush Re Engineering Conditions of Approval for DR 21-7008 (NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)	1	AR009803
76.	June 24, 2021	Memorandum from Engineering Resources of Southern California,	1	AR009811

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		Inc. Re Sun Lakes Village - PWQMP - PC1 Memo		
77.	June 14, 2021 - June 25, 2021	Bulk Emails between A. Loconte and Kevin Sin regarding DR 21-7008 N	1	AR009813
78.	June 28, 2021	Letter from Engineering Resources of Southern California, Inc. to Kevin Sin, PE, Public Works/Engineering Department Re Sun Lakes Blvd & Sun Lakes Village – Soils Report – Approval Letter	1	AR009898
79.	June 28, 2021	Letter from Engineering Resources of Southern California, Inc. to Kevin Sin, PE, Public Works/Engineering Department Re Sun Lakes Blvd & Sun Lakes Village – Infiltration Report – Approval Letter	1	AR009899
80.	June 28, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re Sun Lakes Village – Preliminary Hydrology Report - PC1 Memo	1	AR009900
81.	June 29, 2021	City of Banning Building and Safety Comments Re DR 21-7008	1	AR009901
82.	June 28, 2021 - June 30, 2021	Bulk Emails between A. Rush and Liza Edwards regarding DR 21-7008	1	AR009903
83.	July 19, 2021	Banning Point Air Quality, Greenhouse Gas, & Health Risk Assessment Memorandum	1	AR009970
84.	July 29, 2021	Site Lighting Design	1	AR010373
85.	July 29, 2021	Tentative Parcel Map No. 38164	1	AR010374
86.	July 29, 2021	Tentative Parcel Map No. 38164 (Redlines)	1	AR010375
87.	July 2, 2021 - July 30, 2021	Bulk Emails from A. Steele to L. Edwards regarding planning comments on DR 21-7008	1	AR010376
88.	August 2, 2021	California, Inc. Re Banning 47 – Sun Lakes Blvd (18014001) Response to “PWQMP PC1 Memo” dated June 24, 2021	1	AR010526
89.	August 2, 2021	Preliminary Water Quality Management Plan Prepared: 4/19/2021 Revision Date: 8/2/2021	1	AR010528
90.	August 5, 2021	Conceptual Grading Plan	1	AR010796

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
91.	August 5, 2021	Conceptual Grading Plan (Redline)	1	AR010801
92.	August 5, 2021	Preliminary Hydrology Report	1	AR010806
93.	August 9, 2021	Project Description Banning Point LGE / Design Build	1	AR010968
94.	August 10, 2021	Response to Comments from LGE Project Team Re Banning Point – DR 21-7008	1	AR010973
95.	August 3, 2021 - August 30, 2021	Bulk Emails from A. Rush to L. Edwards regarding DR 21-7008 waiving Burrowing Owl survey or habitat assessment report	1	AR010984
96.	September 7, 2021	Design Review 2nd Submittal	1	AR011024
97.	September 7, 2021	Design Review 2nd Submittal, Approved by Building & Safety Department 9-7-21	1	AR011026
98.	September 7, 2021	Design Review 2nd Submittal, Approved by Fire Department 9-14- 21	1	AR011028
99.	September 9, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – Banning 47 – Sun Lakes Village - PWQMP - PC2 Memo	1	AR011030
100.	September 1, 2021 - September 10, 2021	Bulk Emails from A. Steele to L. Edwards regarding DR 21-7008 Dept. comments	1	AR011031
101.	September 10, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – Sun Lakes Blvd. – Conceptual Grading, Utilities & Storm Drain Plan – PC2 – Memo ERSC Job No. 18014001/165	2	AR011076
102.	September 10, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 – 165 – TPM 21- 4001 – TPM 38164 PC2 Memo	2	AR011078
103.	September 13, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re 18014001 - 165 – Banning 47 – Sun Lakes Village – Preliminary Hydrology Report - PC2 Memo	2	AR011079

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
104.	September 13, 2021 - September 16, 2021	Bulk Emails from A. Steele to L. Edwards regarding DR 21-7008 Dept. comments	2	AR011080
105.	September 23, 2021	City of Banning Electric Utility – 2 nd Submittal Electric Comments	2	AR011205
106.	September 20, 2021 - September 24, 2021	Bulk Emails from A. Rush to L. Edwards regarding CEQA review	2	AR011207
107.	September 27, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re City of Banning – Banning Point (TPM 38164) – Trip Generation Assessment – PC1 Memo	2	AR011259
108.	September 27, 2021	Memorandum from Engineering Resources of Southern California, Inc. Re City of Banning – Banning Point (TPM 38164) – Vehicle Miles Traveled (VMT) Analysis – PC1 Memo	2	AR011260
109.	September 27, 2021 - September 29, 2021	Bulk Emails to A. Vela at City regarding download sharefile notification Traffic Impact Analysis with documents attached	2	AR011261
110.	October 4, 2021	Trip Generation Assessment	2	AR011359
111.	October 4, 2021	Trip Generation Assessment Response to Comments	2	AR011369
112.	October 5, 2021	Conceptual Colored Elevations and Material Board – Warehouse Bldg.	2	AR011374
113.	October 5, 2021	Narrative of changes from LGE Project Team Re Banning Point – DR 21-7008	2	AR011375
114.	October 5, 2021	Public Hearing Notice for October 19, 2021 PC Meeting	2	AR011378
115.	October 6, 2021	Conceptual Landscape Plan	2	AR011380
116.	October 6, 2021	Memorandum from City of Banning Civil Engineer to Adam Rush Re Engineering Conditions of approval for DR 21-7008 (NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)	2	AR011381
117.	October 4, 2021 - October 9, 2021	Bulk Emails from A. Rush to S. Calderon regarding newspaper notices	2	AR011389

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
118.	October 9, 2021	Email from B. Filadelfia Re Opposition to industrial warehouse at the Sun Lakes Village	2	AR011629
119.	October 11, 2021 - October 17, 2021	Bulk Emails from J. Everett to A. Rush regarding DR 21-7008 and availability for community engagement discussion	2	AR011630
120.	October 19, 2021	Agenda Special Meeting of the Banning Planning Commission Planning Commission Report Attachments: 1. Resolution 2021-16 with Conditions of Approval 2. Project Plans 3. DR-21-7008 - Public Hearing Notice 4. DR-21-7008 – Notice of Determination 5. Public Comment Received October 9, 2021	2	AR011771
121.	October 19, 2021	Planning Commission Meeting Action Minutes	2	AR011881
122.	October 19, 2021	Transcript of Planning Commission Meeting	2	AR011887
123.	October 18, 2021 - October 24, 2021	Bulk Emails regarding public comments for DR 21-7008 Banning Point development	2	AR012098
124.	October 25, 2021 - October 31, 2021	Bulk Emails from T. Miller to A. Rush regarding proposed warehouse projects	2	AR012582
125.	November 1, 2021 - November 6, 2021	Bulk Emails from J. Zemon to C. Wallace regarding Creation Equity	2	AR012875
126.	November 8, 2021 - November 13, 2021	Bulk Emails from A. Steele to S. Calderon regarding Banning Point Radius Map and Labels	2	AR013186
127.	November 19, 2021	Notice of Public Hearing for the December 1, 2021 Planning Commission Meeting	2	AR013275
128.	November 19, 2021	Proof of Publication for the December 1, 2021 Planning Commission Meeting	2	AR013280
129.	November 15, 2021 - November 20, 2021	Bulk Emails from R. Robbins to A. Rush regarding Banning Point and	2	AR013281

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		conflicting information from D. Schulze		
130.	November 22, 2021 - November 27, 2021	Bulk Emails from C. Patton to A. Rush Re public records request	2	AR013472
131.	November 28, 2021 - November 30, 2021	Bulk Emails redacted from private party to S. Calderon Re comments at 12-1-21 planning meeting	2	AR013641
132.	December 1, 2021	Agenda Regular Meeting of the Banning Planning Commission Planning Commission Report Attachments: 1. Resolution 2021-16 with Conditions of Approval 2. Project Plans 3. DR-21-7008 - Public Hearing Notice 4. DR-21-7008 – Notice of Determination	2	AR014010
133.	December 1, 2021	Notice of Determination	2	AR014115
134.	December 1, 2021	Planning Commission Regular Meeting Action Minutes	2	AR014117
135.	December 1, 2021	Resolution 2021-16: A Resolution of the Planning Commission of the City of Banning, California, Making Environmental Determinations Under CEQA Guidelines Section 15162, and Approving Design Review 21-7008 & Tentative Parcel Map 38164, to Allow the Subdivision of 47 Acres Into Three (3) Commercial and Industrial Parcels for Financing Purposes and Permit the Construction of a Proposed Industrial Warehouse Building of 619,959 Square Feet on 47-Acres, Including 10,000 Square Feet of Office Space, and Six (6) Retail/Restaurant Buildings Totaling 34,000 Square Feet, on Real Property Located Within the Boundaries of the Sun Lakes Village North Specific Plan Amendment No. 5 (APN: 419-140-057)	2	AR0141121

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
136.	December 1, 2021	Transcript of Planning Commission Meeting	2	AR014171
137.	December 1, 2021 - December 5, 2021	Bulk Emails from M. Murshedi to C. Patton Re false assumptions about distribution center		AR014411
138.	December 7, 2021	Letter from Shute Mihaly Weinberger, LLP to Adam B. Rush, AICP, Community Development Director Re Planning Commission Approval of Design Review 21-7008 and Tentative Parcel Map 38164	2	AR014923
139.	December 7, 2021 - December 12, 2021	Bulk Emails from R. Roy to C. Patton Re appeal deadline	2	AR014926
140.	December 16, 2021	Letter from M. Burton and cover email to City Attorney Re NOD	2	AR015262
141.	December 13, 2021 - December 17, 2021	Bulk Emails from M. Murshedi to D. Schulze Re PAG newsletters attached	2	AR015267
142.	December 21, 2021	Email and Letter from City Attorney Kevin Ennis Re NOD	2	AR015437
143.	December 20, 2021 - December 29, 2021	Bulk Emails from J. Gaglio to B. Robinson Re switch size	2	AR015441
144.	January 3, 2022 - January 8, 2022	Bulk Emails from A. Rush to A. Rush Re PHN for DR 21-7008 Appeal hearing and special meeting	2	AR015473
145.	January 10, 2022 - January 14, 2022	Bulk Emails from A. Rush to J. Zemon Re Banning Point catch up	2	AR015638
146.	January 21, 2022	Proof of Publication of January 31, 2022 City Council Public Hearing	2	AR015676
147.	January 17, 2022 - January 23, 2022	Bulk Emails from J. Gaglio to B. Robinson Re power and undergrounding poles/lines	2	AR015678
148.	January 24, 2022- January 31, 2022	Bulk Emails from C. So to S. Calderon Re Banning Point meeting	2	AR015744
149.	January 24, 2022	Letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Appeal of Sun Lakes Village North Design Review 21-7008 and Opposition to Tentative Parcel Map 38164	2	AR016113
150.	February 1, 2022 - February 6, 2022	Bulk Emails to Banning public records from L. Sampson	2	AR016541

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
151.	February 10, 2022	Banning Point Addendum / Consistency Checklist to the Sun Lakes Village North Specific Plan Amendment No. 5 Environmental Impact Report Appendices: <ul style="list-style-type: none"> • Appendix A: Air Quality, Greenhouse Gas, & Health Risk Assessment Memorandum • Appendix B: Traffic Assessment • Appendix C Vehicle Miles Traveled (VMT) Analysis • Appendix D Noise and Vibration Impact Analysis 	2	AR016739
152.	February 10, 2022	Letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the City Council Re Recusal of Mayor Pro Tem Colleen Wallace, Councilmember Mary Hamlin, and Councilmember Alberto Sanchez from Consideration of Design Review 21-7008 and Tentative Parcel Map 38164	2	AR017425
153.	February 10, 2022	See Tab 151 (Banning Point Addendum / Consistency Checklist to the Sun Lakes Village North Specific Plan Amendment No. 5 Environmental Impact Report) above.	2	AR017454
154.	February 7, 2022 - February 12, 2022	Bulk Emails from L. Hamlin to M. Owen Re organized crime links	2	AR018140
155.	February 15, 2022	Letter from Urban Crossroads to Adam Rush, City of Banning Re Banning Point Development (Design Review 21-7008 & Tentative Parcel Map 38164): Responses to Comments Submitted by Shute Mihaly & Weinberger on Behalf of the Pass Area Action Group	2	AR018281
156.	February 15, 2022	Supplemental letter from Shute Mihaly Weinberger, LLP to Mayor Kyle Pingree and Members of the	2	AR018730

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		City Council Re Design Review 21-7008 and Tentative Parcel Map 38164		
157.	February 16, 2022	Letter from Allen Matkins to Mayor and City Council Re Approve the Banning Point Development (Design Review 21-7008 and Parcel Map 38164) and Deny the Appeal Filed by Pass Action Group	2	AR018745
158.	February 17, 2022	<p>Agenda Special City Council Meeting City of Banning, California</p> <p>City Council Staff Report</p> <p>Attachments:</p> <ol style="list-style-type: none"> 1. City Council Resolution 2022-14 (including Conditions of Approval) 2. Appeal Filed By Pass Action Group 3. Planning Commission Staff Report, December 1, 2021 4. Tentative Parcel Map 38164 5. DR 21-7008 Plan Set 6. Addendum/Consistency Checklist 7. Approved Planning Commission Meeting Minutes, October 19, 2021 8. Planning Commission Meeting Minutes, December 1, 2021 9. Planning Commission Resolution No. 2021-16 10. City Council Public Hearing Notices 11. City Council Affidavit of Public Hearing Notice 	2	AR018776
159.	February 17, 2022	<p>City Council Special Meeting Minutes</p> <p>Public Record Materials:</p> <ol style="list-style-type: none"> 1. Public Comment submitted by Pass Area Action Group – Received 1/24/2022 	2	AR019725

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		2. Project CEQA Consultant Response to Comments – Received 2/15/2022 3. Allen Matkins Leck Gamble Mallory & Natsis LLP Letter of Support – Received 2/16/2022 4. Appellant Supplement Letter – Received 2/16/2022 5. Project CEQA Consultant Response to Comments – Received 2/17/2022		
160.	February 17, 2022	Letter from Urban Crossroads to Adam Rush, City of Banning Re (Design Review 21-7008 & Tentative Parcel Map 38164): Responses to Comments Submitted on February 15, 2022, by Shute Mihaly & Weinberger on Behalf of the Pass Area Action Group	2	AR019768
161.	February 17, 2022	Notice of Determination	2	AR019772
162.	February 17, 2022	Resolution 2022-14: A Resolution of the City Council Of The City Of Banning, California, (1) Approving Tentative Parcel Map No. 38164, Allowing the Subdivision of Approximately 47 Gross Acres of Vacant Land, Into Three Parcels; (2) Approving Design Review 21-7008 and Affirming the Planning Commission's Approval of that Application and Denying an Appeal of that Decision and Permitting the Construction of a Proposed Industrial Warehouse Building of 619,959 Square Feet, Including 10,000 Square Feet of Office Space, and Six Retail/Commercial Buildings Totaling 34,000 Square Feet, on Real Property Located within the Boundaries of the Sun Lakes Village North Specific Plan Amendment No. 5 (APN: 419- 140-057); And (3) Adopting an	2	AR019773

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		Addendum Under the California Environmental Quality Act (CEQA) and Making Findings in Support thereof, including Finding of Consistency with the Certified Environmental Impact Report Prepared for Amendment No. 5 to the Sun Lakes Village North Specific Plan (SCH # 2020029074)		
163.	February 17, 2022	See Tab 162 (Resolution 2022-14) above.	2	AR019820
164.	February 17, 2022	Transcript of City Council Special Meeting	2	AR019867
165.	February 14, 2022 - February 18, 2022	Bulk Emails from L. Sampson to C. Patton Re special CC meeting on appeal	2	AR020161
166.	November 21, 2021 – January 24, 2022	Bulk Emails regarding miscellaneous	2	AR020613
167.	May 15, 2024	Email from J. Everett to J. Zemon Re Radius Labels	2	AR020619
168.	May 15, 2024	Email from J. Zemon to J. Everett Re Radius Labels	2	AR020621
169.	May 15, 2024	Email from S. Calderon to J. Zemon Re Radius Labels	2	AR020625
170.	May 15, 2024	Email from S. Calderon to J. Zemon Re Radius Labels	2	AR020629
171.	May 15, 2024	Email from G. Kingdon to S. Calderon Re Radius Labels	2	AR020633
172.	May 15, 2024	Email from S. Calderon to G. Kingdon Re Radius Labels	2	AR020637
173.	May 17, 2024	Email from G. Kingdon to S. Calderon Re Radius Labels	2	AR020641
174.	May 17, 2024	Email from S. Calderon to G. Kingdon Re Radius Labels	2	AR020646
175.	May 20, 2024	Email from A. Rush to S. Calderon Re SmartGov	2	AR020651
176.	May 20, 2024	Email from S. Calderon to A. Rush Re SmartGov	2	AR020653
177.	May 20, 2024	Email from S. Calderon to A. Rush Re SmartGov	2	AR020654
178.	May 20, 2024	Email from S. Dailey v. A. Sanchez Re Project Vote No	2	AR020656

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179.	May 21, 2024	Email from K. Bundy to City Clerk Re PAG and inadequate notice of hearing	2	AR020657
180.	May 21, 2024	Email From A. Rush to J. Zemon Re inadequate notice of hearing	2	AR020660
181.	May 22, 2024	Email from S. Calderon to K. Bundy Re inadequate notice of hearing	2	AR020664
182.	May 22, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020665
183.	May 22, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	2	AR020666
184.	May 30, 2024	Email from S. Calderon to A. Rush Re June 11 CC Meeting	2	AR020668
185.	May 30, 2024	Email from A. Rush to S. Calderon Re June 11 CC Meeting	2	AR020669
186.	June 3, 2024	Email from S. Calderon to J. Zemon Re Banning Point Project and June 11	2	AR020670
187.	June 3, 2024	Email from S. Calderon to Public Works Group Re June 11 CC Meeting	2	AR020674
188.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020678
189.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020680
190.	June 4, 2024	Email from K. Bundy to C. Patton Re Inadequate notice of hearing	2	AR020682
191.	June 4, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	2	AR020684
192.	June 4, 2024	Email from R. Reddig to City Clerk Re Banning Point objection	2	AR020686
193.	June 5, 2024	Email from S. Calderon to C. Patton Re Banning Point with message Email from F. Matzen	2	AR020687
194.	June 5, 2024	Email from S. Dills to S. Calderon Re Banning Point approval	2	AR020688
195.	June 5, 2024	Email from J. Zemon to E. Papp Re June 11 Hearing to touch base	2	AR020689
196.	June 4, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	2	AR020690
197.	June 5, 2024	Email from E. Papp to J. Zemon Re June 11 Hearing to touch base		AR020693

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198.	June 5, 2024	Email from S. Calderon to C. Patton Re Banning Point with message Email from S. Dills	2	AR020694
199.	June 5, 2024	From C. Patton to S. Dills Re Banning Point comments	2	AR020695
200.	June 5, 2024	From C. Patton to R. Reddig Re Banning Point comments	2	AR020696
201.	June 5, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	3	AR020697
202.	June 5, 2024	Email from P. Jackson to S. Calderon Re objections to Banning Point	3	AR020700
203.	June 5, 2024	Email from C. Patton to F. Matzen Re Banning Point comments	3	AR020701
204.	June 6, 2024	Email from C. Patton to K. Bundy Re inadequate notice of hearing	3	AR020702
205.	June 6, 2024	Email from C. Patton to K. Bundy Re Inadequate notice of hearing	3	AR020705
206.	June 6, 2024	Email from D. Ferreira to City Clerk Re Banning Point opposition	3	AR020708
207.	June 6, 2024	Email from S. Calderon to E. Papp Re Affidavit of Mailing	3	AR020709
208.	June 6, 2024	Email from D. Ferreira to C. Wallace Re Banning Point opposition	3	AR020736
209.	June 6, 2024	Email from D. Ferreira to D. Happe Re Banning Point opposition	3	AR020737
210.	June 6, 2024	Email from C. Patton to D. Ferreira Re Banning Point comments	3	AR020738
211.	June 6, 2024	Email from D. Ferreira to A. Sanchez Re Banning Point opposition	3	AR020739
212.	June 7, 2024	Email from K. Bundy to C. Patton Re inadequate notice of hearing	3	AR020740
213.	June 10, 2024	Email from B. Ruano to City Clerk Re Banning Point vote	3	AR020744
214.	June 10, 2024	Email from T. Leamy to C. Wallace Re Banning Point vote	3	AR020745
215.	June 10, 2024	Email from L. Sampson to B. Ruano Re Banning Point vote	3	AR020746
216.	June 10, 2024	Email from B. Ruano to R. Minjares Re Attachment with vote no	3	AR020747
217.	June 10, 2024	Email from L. Sampson to C. Patton Re Banning Point Warehouse Project	3	AR020749

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218.	June 10, 2024	Email from J. Zemon to E. Papp Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR020751
219.	June 10, 2024	Email from E. Papp to J. Zemon Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR020753
220.	June 10, 2024	Email from J. Condas to E. Papp Re CC Consent Item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020755
221.	June 10, 2024	Email from J. Zemon to E. Papp Re CC consent item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020758
222.	June 10, 2024	Email from E. Papp to J. Zemon Re CC Consent Item 6.10 and Public Hearing Item 7.1`	3	AR020761
223.	June 10, 2024	Email from J. Zemon to E. Papp Re CC Consent Item 6.10 and Public Hrg Item 7.1 for June 11 Meeting	3	AR020764
224.	June 10, 2024	Email from C. Medley to S. Calderon Re vote	3	AR020767
225.	June 10, 2024	Email from K. Bundy to C. Patton Re rescheduling hearing	3	AR020768
226.	June 11, 2024	Email from T. Leamy to C. Wallace Re vote	3	AR020769
227.	June 11, 2024	City Council Regular Meeting Agenda (ITEM 9.1 REMOVED AND NOT HEARD)	3	AR020770
228.	June 11, 2024	Minutes of City Council Regular Meeting (SHOWS 9.1 REMOVED FROM AGENDA AND NOT HEARD)	3	AR020775
229.	June 11, 2024	Staff Report for City Council Regular Meeting on June 11, 2024 with attachments: NOT HEARD 1. Resolution 2024-88, Banning Point.docx 2. Exhibit A - Conditions of Approval.docx 3. PAAG Appeal Letter.pdf 4. December 1 2021 Regular Planning Commission Meeting.pdf 5. TPM 38164.pdf 6. DR 21-7008 Plans.pdf	3	AR020803

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		7. Addendum Consistency Checklist.pdf 8. Approved PC Minutes October 19, 2021.pdf 9. December 1, 2021 PC Meeting Minutes.pdf 10. PC Resolution 2021-16.pdf 11. February 17, 2022 Special CC Meeting Minutes.pdf 12. 240409 Judgment Grant Peremptory Writ of Mandate SLH.pdf 13. Public Comment Correspondence.pdf 14. 10.19.2021 PC PHN.pdf 15. 12.01.2021 PC PHN.pdf 16. Public Hearing Notice - 06/11/2024		
230.	June 24, 2024	Email From P. Gosney to J. Condas Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022716
231.	June 25, 2024	Email from S. Calderon to E. Papp Re Affidavits of Mailing and Posting Notice of Hearing	3	AR022719
232.	June 30, 2024	Email from T. Leamy to C. Wallace Re Banning Point vote NO	3	AR022746
233.	July 1, 2024	Email From P. Gosney to J. Condas and E. Papp Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022747
234.	July 1, 2024	Email from C. Patton to P. Gosney Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting	3	AR022750
235.	July 1, 2024	Email from C. Patton to P. Gosney Re CC Consent Item 6.10 and Pub Hrg Item 7.1 for June 11 Meeting (Second Email)	3	AR022753
236.	July 5, 2024	Email from P. Jackson to City Clerk Re objection to Banning Point project	3	AR022757
237.	July 6, 2002	Email from T. Leamy to C. Wallace Re vote	3	AR022759
238.	July 6, 2024	Email from G. Johnson to A. Sanchez Re traffic congestion	3	AR022760

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239.	July 8, 2024	Email from B. Ruano to City Clerk Re vote	3	AR022761
240.	July 8, 2024	Email from K. and R. Nemire to A. Sanchez Re Letter regarding opposition	3	AR022762
241.	July 8, 2024	Email from J. Sherman to A. Rush Re opposition	3	AR022764
242.	July 8, 2024	Email from D. Ferreira to City Clerk Re opposition	3	AR022765
243.	July 8, 2024	Email from D. Ferreira to City Council and Mayor Re opposition	3	AR022766
244.	July 8, 2024	Email from D. Ferreira to Councilwoman C. Wallace Re opposition	3	AR022767
245.	July 8, 2024	Email from D. Ferreira to D. Happe Re opposition	3	AR022768
246.	July 8, 2024	Email from D. Ferreira to A. Sanchez Re opposition	3	AR022769
247.	July 8, 2024	Email from D. Ferreira to D. Schulze Re opposition	3	AR022770
248.	July 8, 2024	Email from K. Dale to C. Patton Re comments	3	AR022771
249.	July 8, 2024	Email from C. Medley to S. Calderon Re vote	3	AR022778
250.	July 8, 2024	Email from D. Shulze to C. Patton Re opposition	3	AR022779
251.	July 8, 2024	Email from H. Tabachnik to C. Patton Re opposition	3	AR022780
252.	July 8, 2024	Email from M. Johnson to D. Schulze Re opposition	3	AR022781
253.	July 8, 2024	Email from M. Johnson to A. Sanchez Re opposition	3	AR022782
254.	July 8, 2024	Email from M. Johnson to R. Minjares Re opposition	3	AR022783
255.	July 8, 2024	Email from R. Robbins to C. Patton Re 7-9-24 Presentation	3	AR022784
256.	July 8, 2024	Email from M. Johnson to D. Happe Re opposition	3	AR022798
257.	July 8, 2024	Email from D. Schulze to C. Patton Re opposition	3	AR022799
258.	July 8, 2024	Email from C. Patton to R. Robbins Re PAG documents	3	AR022800

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259.	July 8, 2024	Email from R. Robbins to C. Patton Re PAG documents	3	AR022801
260.	July 8, 2024	Email from M. Johnson to C. Wallace Re opposition	3	AR022802
261.	July 8, 2024	Email from C. Pierro to A. Sanchez Re traffic and health reasons	3	AR022803
262.	July 9, 2024	Email from K. Bundy to City Council Re PAG Comments	3	AR022804
263.	July 9, 2024	Email from K. Dale to City Clerk Re 7-9-24 CC Meeting and the project	3	AR022813
264.	July 9, 2024	Email from S. Calderon to E. Papp Re 7-9-24 CC Meeting Agenda	3	AR022816
265.	July 9, 2024	Email from C. Patton to K. Bundy Re 7-9-24 CC Agenda	3	AR022825
266.	July 9, 2024	Email from S. Flynn to C. Patton Re 7-9-24 CC Agenda	3	AR022826
267.	July 9, 2024	Email from R. Minjares to R. Minjares Re 7-9-24 CC Public Hearing	3	AR022827
268.	July 9, 2024	Email from C. Wallace to R. Boyle Re S. Flynn attending PAG meeting and participating	3	AR022830
269.	July 9, 2024	City Council Regular Meeting Agenda	3	AR022831
270.	July 9, 2024	Minutes of City Council Regular Meeting	3	AR022836
271.	July 9, 2024	Notice of Public Hearing	3	AR022990
272.	July 9, 2024	Proof of Publication	3	AR022992
273.	July 9, 2024	Staff Report for City Council Regular Meeting on July 9, 2024 with attachments: 1. Resolution 2024-114, DR 21-7008 Consideration.docx 2. Exhibit A - COAs.docx 3. PAAG Appeal Letter.pdf 4. December 1 2021 Regular Planning Commission Meeting.pdf 5. TPM 38164.pdf 6. DR 21-7008 Plans.pdf 7. Addendum Consistency Checklist.pdf	3	AR022993

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		8. Approved PC Minutes October 19, 2021.pdf 9. December 1, 2021 PC Meeting Minutes.pdf 10. PC Resolution 2021-16.pdf 11. Resolution No. 2022-014.pdf 12. February 17, 2022 Special CC Meeting Minutes.pdf 13. 240409 Judgment Grant Peremptory Writ of Mandate SLH.pdf 14. March 15, 2024 Ruling.pdf 15. Public Comment Correspondence.pdf 16. 10.19.2021 PC PHN.pdf 17. 12.01.2021 PC PHN.pdf 18. Public Hearing Notice - 06/11/2024 19. PHN_Banning Point_7.9.2024.pdf 20. 2024 06 28_PHN - Proof of Publication 21. Banning - Affidavits of Mailing and Posting of Notice of Public Hearing.pdf		
274.	July 9, 2024	Resolution 2024-113	3	AR025680
275.	July 9, 2024	Transcript of Video of City Council Meeting Agenda Item No. 7.1	3	AR025683
276.	July 10, 2024	Email from J. Sherman to K. Gutierrez Re project opposition	3	AR025929
277.	July 10, 2024	Email from K. Gutierrez to E. Papp Re opposition	3	AR025930
278.	July 11, 2024	Email from D. Nethercott to C. Wallace Re 7-9-24 CC Meeting	3	AR025931
279.	July 11, 2024	Email from D. Nethercott to A. Sanchez Re 7-9-24 CC Meeting	3	AR025932
280.	July 11, 2024	Email from D. Nethercott to S. Flynn thanking her for hard work	3	AR025933
281.	July 11, 2024	Email from K. Dale to E Papp re Banning Point - Legible Parcel Map	3	AR025934
282.	July 25, 2024	Letter from Project Applicant to CC Re Banning Point Project	3	AR025936
283.	July 25, 2024	Email from K. Preston to CC Re Banning Point Project	3	AR025951

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284.	July 25, 2024	Email from C. Patton to K. Preston Re Banning Point Project	3	AR025967
285.	July 25, 2024	Email from K. Preston to C. Patton Re Banning Point Project	3	AR025968
286.	August 9, 2024	Email from K. Bundy to C. Patton re Banning Point Project - City Council hearing	3	AR025970
287.	August 9, 2024	Email from C. Patton to K. Bundy re Banning Point Project - City Council hearing	3	AR025971
288.	August 9, 2024	Email from K. Bundy to C. Patton Re Banning Point Project - City Council hearing	3	AR025972
289.	August 10, 2024	Email from V. De Bry to D. Happe Re Banning Point	3	AR025974
290.	August 10, 2024	Email from V. De Bry to R. Minjares Re Banning Point	3	AR025975
291.	August 13, 2024	Email from C. Patton to K. Bundy Re Banning Point Project - City Council hearing	3	AR025976
292.	August 13, 2024	Email from K. Bundy to C. Patton Re Banning Point Project - City Council hearing	3	AR025978
293.	August 13, 2024	Email from J. Hannahs to S. Flynn Re Banning Point	3	AR025980
294.	August 13, 2024	Email from J. Hannahs to C. Wallace Re Banning Point Warehouse	3	AR025981
295.	August 13, 2024	Email from J. Hannahs to A. Sanchez Re Banning Point Warehouse	3	AR025982
296.	August 14, 2024	Email from City Manager by L. Sampson to D. Schulze Re Sun Lakes Village	3	AR025983
297.	August 14, 2024	Email from E. Papp to P. Gosney Re Banning Point Project - City Council Agenda Planning	3	AR025984
298.	August 14, 2024	Email from P. Gosney to E. Papp Re Banning Point Project - City Council Agenda Planning	3	AR025985
299.	August 19, 2024	Email from E. Papp to M. Valenzuela Re TPM for Banning Point	3	AR025986
300.	August 22, 2024	Email from G. Johnson to A. Sanchez Re Banning Point Warehouse project	3	AR025988

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301.	August 23, 2024	Email from G. Phelps to D. Schulze Re Speaking at the Aug CC mtg re Banning Point Whse	4	AR025989
302.	August 23, 2024	Email from C. Patton to G. Phelps Re Speaking at the Aug CC mtg re Banning Point Warehouse	4	AR025991
303.	August 26, 2024	Email from G. Phelps to C. Patton Re Speaking at the Aug CC Mtg re Banning Point Warehouse	4	AR025993
304.	August 27, 2024	Agenda and Staff Report for 8-27- 2024 Meeting with Approval of 7-09- 2024 Meeting Minutes	4	AR025996
305.	August 29, 2024	8-29-2024 Letter from Shute, Mihaly & Weinberger LLP, PAG Counsel to City Council	4	AR027505
306.	August 29, 2024	Email from K. Bundy to CC Re Correspondence re Banning Point Project	4	AR027526
307.	August 29, 2024	Email from K. Bundy to CC Re Correspondence re Banning Point Project (Second Email)	4	AR027548
308.	August 30, 2024	Email from S. Flynn to K. Dale Re Correspondence re Banning Point Project	4	AR027570
309.	September 4, 2024	Email from C. Patton to CC Re Communication re Banning Point Project	4	AR027571
310.	September 4, 2024	Email from Sun Lakes Highland to CC Members Re Banning Point Project (Memo)	4	AR027572
311.	September 4, 2024	Email from C. Patton to A. Gomez re Banning Point Memo to Banning CC	4	AR027587
312.	September 4, 2024	Email from A. Gomez to D. Schulze Re Banning Point Memo to Banning CC	4	AR027588
313.	September 24, 2024	Email from Doug Schulze to A. Gomez Re Banning Point Memo to Banning CC	4	AR027604
314.	September 4, 2024	Email from E. Papp to J. Zemon Re Correspondence re Banning Point Project	4	AR027605

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315.	September 5, 2024	Email from J. Zemon to E. Papp Re Correspondence re Banning Point Project	4	AR027627
316.	September 5, 2024	Email from E. Papp to J. Zemon Re Correspondence re Banning Point Project	4	AR027629
317.	September 5, 2024	Email from J. Zemon to E. Papp Re Correspondence re Banning Point Project	4	AR027631
318.	September 5, 2024	Email from K. Bundy to C. Patton Re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Point)	4	AR027634
319.	September 5, 2024	Email from N. Criste to E. Papp Re Agenda Packet and Resolutions	4	AR027635
320.	September 6, 2024	Email from E. Papp to N. Criste Re Agenda Packet for Council - Sun Lakes Village	4	AR027636
321.	September 6, 2024	Email from E. Papp to N. Criste Re Agenda Packet for Council - Sun Lakes Village	4	AR027637
322.	September 9, 2024	Email from G. Phelps to D. Schulze Re Speaking on Banning Point Whse - Agenda 8.2	4	AR02739
323.	September 9, 2024	Email from J. Hannahs to J. Hannahs Re Banning Point	4	AR027642
324.	September 9, 2024	Email from N. Campos to City Clerks Re Banning Point Project, City Council Agenda Item 8.2	4	AR027643
325.	September 9, 2024	Email from K. Bundy to CC Re 9-10-24 Agenda Item 8.2 - Banning Point project	4	AR027651
326.	September 9, 2024	Email from C. Patton to K. Bundy Re 9-10-24 Agenda Item 8.2 - Banning Point project	4	AR027661
327.	September 9, 2024	Email from C. Patton to N. Campos Re Banning Point Project, City Council Agenda Item 8.2	4	AR027662
328.	September 9, 2024	Email from E. Papp to J. Zemon Re 9-10-24 Agenda Item 8.2, Banning Point project	4	AR027663
329.	September 10, 2024	Email from J. Zemon to E. Papp re Banning Point - Applicant Presentation	4	AR027673

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INDEX OF ADMINISTRATIVE RECORD OF PROCEEDINGS

TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
330.	September 10, 2024	Email from E. Papp to J. Zemon Re Banning Point - Applicant Presentation	4	AR027697
331.	September 10, 2024	Email from E. Papp to S. Calderon Re PowerPoint Presentation for Print - Banning Point	4	AR027699
332.	September 10, 2024	Email from P. Gosney to E. Papp Re Banning Point - Applicant Presentation	4	AR027713
333.	September 10, 2024	Email from C. Patton to G. Phelps Re Speaking on Banning Point Whse - Agenda 8.2	4	AR027740
334.	September 10, 2024	Email from D. Ferreira to C. Wallace re Banning Point Project	4	AR027741
335.	September 10, 2024	Email from G. Phelps to C. Patton re Speaking on Banning Point Whse - Agenda 8.2	4	AR027742
336.	September 10, 2024	Email from C. Patton to K. Bundy re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Pt)	4	AR027743
337.	September 10, 2024	Email from K. Bundy to C. Patton Re 9-10-24 Banning CC Mtg, Agenda Item 8.2 (Banning Pt)	4	AR027745
338.	September 10, 2024	Email from E. Papp to C. Patton re Banning Point - Application Presentation	4	AR027747
339.	September 10, 2024	Email from C. Patton to E. Papp Re Application presentation	4	AR027774
340.	September 10, 2024	Email from E. Papp to P. Gosney Re Application presentation	4	AR027777
341.	September 10, 2024	Email from P. Gosney to E. Papp Re Application presentation	4	AR027779
342.	September 10, 2024	Email from K. Bundy to City Council Re CC 9-10-2024 Agenda	4	AR027782
343.	September 10, 2024	Email from E. Papp to J. Zemon Re Pass Action Group Letter to City Council 8-29-24	4	AR027805
344.	September 10, 2024	City Council Regular Meeting Agenda	4	AR027828
345.	September 10, 2024	City Council Resolution No. 2024-151 A Resolution Of The City Council Of The City Of Banning, California, (1) Disapproving	4	AR027833

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TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		Tentative Parcel Map No. 38164, A Proposed Subdivision Of Approximately 47 Gross Acres Of Vacant Land Into Three Parcels; (2) Denying Design Review No. 21-7008 A Proposed Construction Of A 619,959 Square Foot Industrial Warehouse Building, Including 10,000 Square Feet Of Office Space And A Combined 34,000 Square Feet Of Retail/ Commercial Buildings, On Real Property Located Within The Boundaries Of The Sun Lakes Village North Specific Plan Area (APN: 419-140-057), (3) Making A Determination Of Exemption Under Section 15720(A) Of The California Environmental Quality Act (CEQA) Guidelines		
346.	September 10, 2024	Minutes of City Council Regular Meeting	4	AR027843
347.	September 10, 2024	Staff Report for City Council Regular Meeting on September 10, 2024 with attachments: 1. TPM No. 38164.pdf 2. DR_21-7008_Plans.pdf 3. July 9, 2024 CC SR w_attachments.pdf 4. 2024-03-15_Order_re_Writ_of_Mandate.pdf 5. July 25, 2024 Letter from Project Applicant 6. August 29, 2024 Letter from Appellant 7. September 4, 2024 Memorandum from Project Applicant 8. Resolution 2024-149, Banning Point.docx 9. Exhibit A to Reso 2024-149 - COA.docx 10. Resolution 2024-150, Banning Point Approval of TPM and Denial of DR	4	AR027998

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INDEX OF ADMINISTRATIVE RECORD OF PROCEEDINGS

TAB	DATE	DOCUMENT TITLE	VOL	BATES NUMBER
		11. Exhibit A to Reso 2024-150 - COA 12. Resolution 2024-151, Banning Pointe Denial of TPM and DR 13. 2024 07 09_Minutes_Regular Meeting.pdf 14. Addendum_Consistency_Checklist.pdf		
348.	September 10, 2024	Transcript of Video of City Council Meeting Agenda Item No. 8.2	4	AR029639
349.	September 25, 2024	Letter from SLH to City Council	4	AR029770
350.	October 8, 2024	City Council Regular Meeting Agenda	4	AR029803
351.	October 8, 2024	Minutes of City Council Regular Meeting	4	AR029807
352.	October 8, 2024	Staff Report for City Council Regular Meeting on October 8, 2024 with attachments: 1.CC Resolution No. 2024-151.pdf 2. 2024-09-25 SLH Reconsideration Request.pdf 3. BMC 17.68.140__Reconsideration..docx 4. CC Manual of Procedural Guidelines_Resolution 2023-34 - Copy.pdf	4	AR029848
353.	October 8, 2024	Transcript of Video of City Council Meeting Agenda Item No. 9.1	4	AR030661



MEMORANDUM

TO: Harvey Marcell, Marcell & Associates
Kevin Sin, City of Banning

FROM: Dale Roberson, *Engineering Resources of Southern California, Inc.*

DATE: September 10, 2021

SUBJECT: 18014001 – 165 – Sun Lakes Blvd. – Conceptual Grading, Utilities & Storm Drain Plan – PC2 – MEMO
ERSC Job No. 18014001/165

We have completed the review of the precise grading plan for the above referenced project and the following comments are the result of our review.

General

1. Use Current City Sheet Format & Title Block.
2. Added Sheets 4 & 5, SD Profiles, not previously submitted.

Sheet 1 – Conceptual Grading Plan

1. Reference General Comments.
2. Add Brg. / Distances to SW corner & NE corner areas as noted.
3. Clarify difference between “X%” swale calls & “R=X%” calls.
4. Clarify limits of Brg / Distance calls along Easterly boundary as noted.

Sheet 2 – Conceptual Utility Plan

1. Reference General Comments.
2. One remaining Sewer crossing SD line circled along East side.
3. Text cut-off by viewport as noted along East edge of site.

Sheet 3

1. Reference General Comments.
2. Add missing Lateral labels as noted.

AR 012557



T:\Projects\18014001 - City of Banning - Plan Check\Plan Check\165 - Sun Lakes Blvd & Sun Lakes Village\1.0 PLAN CHECKS\CONCEPTUAL GRADING PLAN\TRANSMITTALS\OUTGOING\PC2 9.14.21\18014001 - 165 - Sun Lakes - Concep. Grading, Util. & SD - PC2 - MEMO.docx

AR011076



Sheet 4

1. Reference General Comments.
2. Clarify Gaps & Overlaps, Screened & Un-screened portions on Manholes as noted.
3. Add missing Lateral Profiles as noted on Sht. 3 as space permits.

Sheet 5

1. Reference General Comments.
2. Clarify Gaps & Overlaps, Screened & Un-screened portions on Manholes as noted.
3. Add missing Lateral Profiles as noted on Sht. 3 as space permits.

Contact me at droberson@erscinc.com for any questions.

These comments are the result of the review of a document that lacks appropriate data and/or is considered incomplete. The response to these comments may result in additional comments. Lack of response to any these comments will result in delayed approval of the document.

AR 012558



T:\Projects\18014001 - City of Banning - Plan Check\Plan Check\165 - Sun Lakes Blvd & Sun Lakes Village\1.0 PLAN CHECKS\CONCEPTUAL GRADING PLAN\TRANSMITTALS\OUTGOING\PC2 9.14.21\18014001 - 165 - Sun Lakes - Concep. Grading, Util. & SD - PC2 - MEMO.docx

AR011077



REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Brian Thienes, *Thienes Engineering, Inc.*
Kevin Sin, *City of Banning*

FROM: Jorge Biagioni, *Engineering Resources of Southern California, Inc.*

DATE: September 10, 2021

SUBJECT: 18014001 – 165 – TPM 21-4001 – TENTATIVE PARCEL MAP No. 38164
PC2 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

General

1. Please provide the following documents:
 - a. Updated copy of Preliminary Title Report (no older than 90 days)
2. Map seems too crowded, needs a larger scale, or more sheets, to show more detail.
3. Map still lacks horizontal control. There are no dimensions for drive aisles dimensions, parking stalls, planters, etc.

Contact me at jbiagioni@erscinc.com or (909) 890-1255 for any questions.



REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Reinhard Stenzel, P.E., Thienes Engineering, Inc.
Kevin Sin, City of Banning

FROM: Moe Ahmadi, *Engineering Resources of Southern California, Inc.*

DATE: September 13, 2021

SUBJECT: 18014001 – 165 – Banning 47 – Sun Lakes Village – Preliminary Hydrology Report - PC2 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

1. Call out Line A and Line B on the hydrology map.
2. Use NOAA Atlas 14 for the rainfall intensities and revise calculations accordingly. (2nd request)
3. Call out Q100 on the hydrology map as redlined.
4. Provide stationing on the map for the storm drains consistent with the WSPG hydraulic models.
5. Avoid overlapping of texts on the hydrology map.
6. Call out pad elevation on the hydrology map.
7. Call out ponding elevations during the 100-year storm event on the map as redlined.
8. Address all redlined comments on the map and the report.

Contact me at mahmadi@erscinc.com or (909) 890-1255 for any questions.

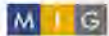
From: Alex Steele
Sent: Monday, September 13, 2021 12:57 PM PDT
To: Lisa Edwards
CC: Pam Steele
Subject: Re: DR 21-7008 - Dept. Comments

Lisa,

Yes, the shared drive on the east side will be the main access for Parcel 3. Development of Parcel 3 will not be associated with the current application, so no Phase III. There is no timeline at this point for when that development will occur as far as we know.

Your breakdown of the access points is correct. Sorry if there was conflicting information in the Project Description. We see different versions of these plans and try to keep the narrative current, but sometimes miss some things.

Thank you,
Alex Steele
Senior Associate Planner



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On Fri, Sep 10, 2021 at 2:13 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Hi Alex/Pam,

We are still waiting for clearances on the studies from the various divisions. Please touch base with me again early next week. Thanks so much for your patience. I have completed Planning review of your resubmittal and have the following questions:

1. Is the driveway on the east side going to be the main access drive for Parcel 3? And will Parcel 3 be part of a Phase III project in the near or distant future?
2. The Project Description appears to slightly differ from the site plan. Can you please verify if correct:

Access points off Sun Lakes Blvd: 40' wide driveway (at cul-de-sac) & 46' driveway (divided by 6' median) & 40' wide shared driveway

Access points for retail: West side - 24' wide driveway off Sun Lakes Village Dr & East side - Two (2) 26' wide driveways off shared driveway

AR 014516

COB_0606

AR011080

Access points for warehouse: West side- 29'-10" wide driveway off Sun Lakes Village Dr & East side- Three (3) driveways 24' wide, 29' wide, 40' wide off shared driveway

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 1, 2021 10:40 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: DR 21-7008 - Dept. Comments

Lisa,
Good morning. Just wanted to check in with you to see when we should expect to see comments for the Banning Point project that was resubmitted on 8/10. We have a call with the team coming up so I'd like to give them an estimate so we can be sure to jump on the revisions as quickly as possible.
Thank you,
Alex Steele

Senior Associate Planner



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AR 014517

COB_0607

AR011081

From: Luis Cardenas
Sent: Monday, September 13, 2021 4:04 PM PDT
To: Sandra Calderon
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

Hi Sandra,

The link expired. Can you send me another link to the documents?

Luis Cardenas
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3143
lcardenas@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Tuesday, September 7, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

AR 014518

COB_1291

AR011082

Click on the link below to download documents:

Privacy

Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014519

COB_1292

AR011083

From: Pam Steele
Sent: Tuesday, September 14, 2021 4:28 PM PDT
To: Lisa Edwards
CC: Adam Rush; Alex Steele
Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--
Pam Steele
Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



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www.migcom.com
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--
Pam Steele

AR 014520

COB_0608

AR011084

Principal

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AR 014521

COB_0609

AR011085

From: Jim Steffens
Sent: Tuesday, September 14, 2021 11:15 AM PDT
To: David Roblee
CC: Juanita Munoz
Subject: Spreadsheet
Attachments: P.V. Systems Info WITH ALL NET BILLING CUSTOMERS REMOVED UPDATED 8-9-21 (Save Under 4-28).xls,
image001.jpg

Is this the one she is looking for?

Jim Steffens
Power Resources Manager
Electric Utility
City of Banning
Direct Line: 951-922-3266
Cell #: [REDACTED] Privacy
jsteffens@banningca.gov
176 E. Lincoln Street
Banning, CA 92220
www.banningca.gov



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AR 014522

COB_1951

AR011086

From: Adam Rush
Sent: Wednesday, September 15, 2021 10:36 AM PDT
To: Lisa Edwards
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

We do but it's on a case-by-case basis. LMK if you need assistance.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128
Cell: (760) 219-2791
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:35 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

It's going slowly but surely.

Do we have any CEQA peer review resources or should this all be in-house?

From: Adam Rush <arush@banningca.gov>

Sent: Wednesday, September 15, 2021 10:33 AM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128

AR 014523

COB_0063

AR011087

Cell: [\(760\) 219-2791](tel:7602192791)
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:28 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

I haven't been able to get all dept clearance as of yet...so probably November.

From: Adam Rush <arush@banningca.gov>

Sent: Tuesday, September 7, 2021 3:27 PM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: 760-219-2791
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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Tuesday, September 7, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano

AR 014524

COB_0064

AR011088

<dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

<https://migcom.egnyte.com/fl/F4dOjX678V>

Password:GoQJ2knm6Hcq

Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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<image001.jpg>

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AR 014525

COB_0065

AR011089

From: Pam Steele
Sent: Wednesday, September 15, 2021 10:24 AM PDT
To: Lisa Edwards
CC: Adam Rush; Alex Steele
Subject: Re: Banning Point - CEQA review

Thank you Lisa.

Any update on the CEQA docs?

Pam

On Wed, Sep 15, 2021 at 10:22 AM Lisa Edwards <ledwards@banningca.gov> wrote:
Attached please find Engineering's comments regarding WQMP. This is 3 of 3.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Lisa,
Can you give us an update on the review of the CEQA document? and the comments from the departments?
Our team would like to review the conditions of approval from the departments as well.
Thank you for your assistance,
Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,
Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.
Please let us know.
Thank you!
Pam
--

Pam Steele
Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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AR 014526

COB_0610

AR011090

--
Pam Steele
Principal

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Pam Steele
Principal

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AR 014527

COB_0611

AR011091

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 10:48 AM PDT
To: Pam Steele
CC: Adam Rush; Alex Steele
Subject: Re: Banning Point - CEQA review

It seems Engineering is still reviewing the studies at this time. Please feel free to check back with me Friday if you haven't heard from me!

From: Pam Steele <pams@migcom.com>
Sent: Wednesday, September 15, 2021 10:24 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Thank you Lisa.
Any update on the CEQA docs?
Pam

On Wed, Sep 15, 2021 at 10:22 AM Lisa Edwards <ledwards@banningca.gov> wrote:
Attached please find Engineering's comments regarding WQMP. This is 3 of 3.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Lisa,
Can you give us an update on the review of the CEQA document? and the comments from the departments?
Our team would like to review the conditions of approval from the departments as well.
Thank you for your assistance,
Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,
Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.
Please let us know.
Thank you!
Pam

--

Pam Steele
Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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AR 014528

COB_0612

AR011092

1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8360, cell: [REDACTED]
pams@migcom.com
www.migcom.com
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Pam Steele
Principal

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AR 014529

COB_0613

AR011093

From: Pam Steele
Sent: Wednesday, September 15, 2021 11:02 AM PDT
To: Lisa Edwards
CC: Adam Rush; Alex Steele
Subject: Re: Banning Point - CEQA review

Thanks - should we be concerned? It is a fairly straightforward review.

Pam

On Wed, Sep 15, 2021 at 10:48 AM Lisa Edwards <ledwards@banningca.gov> wrote:
It seems Engineering is still reviewing the studies at this time. Please feel free to check back with me Friday if you haven't heard from me!

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Pam Steele
Principal

AR 014530

COB_0614

AR011094

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Riverside, California 92507 | USA

office: 951-787-9222 extension: 8360, cell: Privacy

pams@migcom.com

www.migcom.com

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--

Pam Steele

Principal

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Pam Steele

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AR 014531

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AR011095

--
Pam Steele
Principal

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AR 014532

COB_0616

AR011096

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 11:06 AM PDT
To: Adam Rush
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

So Engineering is asking for \$2800 in plan check fees to review VMT & Traffic studies. Do you know if Pam was made aware of these fees as of yet?

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 10:36 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

We do but it's on a case-by-case basis. LMK if you need assistance.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [REDACTED]
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:35 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

It's going slowly but surely.

Do we have any CEQA peer review resources or should this all be in-house?

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 10:33 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP

AR 014533

COB_0617

AR011097

Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128
Cell: [REDACTED]
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:28 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

I haven't been able to get all dept clearance as of yet...so probably November.

From: Adam Rush <arush@banningca.gov>

Sent: Tuesday, September 7, 2021 3:27 PM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov

<image001.jpg>

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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Tuesday, September 7, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

AR 014534

COB_0618

AR011098

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

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Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov

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AR 014535

COB_0619

AR011099

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 1:27 PM PDT
To: Adam Rush
CC: Sandra Calderon
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057



From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 1:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Sandra Calderon <scalderon@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

If the fee request is coming from Engineering, then we should direct the the applicant's representative to Kevin Sin and Joshua Monzon.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 1:00 PM, Lisa Edwards <ledwards@banningca.gov> wrote:

Oh boy. They think that the EA fee they paid in 6/9/21 covers everything. Please advise 😊

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 11:11 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Sandra Calderon <scalderon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Engineering typically conveys this request either directly to the preparer of the TIA or sends the request through Sandra Calderon, who sends the request to the applicant.

Sincerely,

|<image001.jpg>

AR 014536

COB_0620

AR011100

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 11:07 AM
To: Adam Rush <arush@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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We do but it's on a case-by-case basis. LMK if you need assistance.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](tel:9519223131)
Fax: [\(951\) 922-3128](tel:9519223128)
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:35 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014537

COB_0621

AR011101

It's going slowly but surely.

Do we have any CEQA peer review resources or should this all be in-house?

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 10:33 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](tel:9519223131)
Fax: [\(951\) 922-3128](tel:9519223128)
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

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Sent: Tuesday, September 7, 2021 3:27 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

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Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy

<image001.jpg>

AR 014538

COB_0622

AR011102

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arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov

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Sent: Tuesday, September 7, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
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AR 014539

COB_0623

AR011103

AR 014540

COB_0624

AR011104

From: Patrick Johnson
Sent: Wednesday, September 15, 2021 3:05 PM PDT
To: Lisa Edwards
Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at (909) 838-1005 ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

AR 014541

COB_0625

AR011105

From: Sandra Calderon
Sent: Wednesday, September 15, 2021 5:27 PM PDT
To: Brandon Robinson
Subject: Sandra Calderon shared the folder "2nd Submittal 08.10.2021" with you.



Sandra Calderon shared a folder with you

DR 21-7008 2nd Submittal.

Sandra



2nd Submittal 08.10.2021



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AR 014542

COB_0626

AR011106

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 10:35 AM PDT
To: Adam Rush
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Sent: Wednesday, September 15, 2021 10:33 AM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning

[99 Ramsey Street](#)

[Banning, CA, 92220](#)

Office: [\(951\) 922-3131](#)

Fax: [\(951\) 922-3128](#)

Cell: [Privacy](#)

Email: arush@banningca.gov

www.banningca.gov

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Sent: Tuesday, September 7, 2021 3:27 PM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

<image001.jpg>

AR 014543

COB_1293

AR011107

City of Banning

Direct Line: 951-922-3131

Cell Line: Privacy

Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov

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Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Sandra Calderon

Development Project Coordinator

Community Development Department

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov

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AR 014545

COB_1295

AR011109

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 11:16 AM PDT
To: Pam Steele
CC: Alex Steele
Subject: Re: Banning Point LGE Design Build

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, August 24, 2021 11:46 AM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>

Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: Cameron Hile <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

Pam,
See attached...

Cameron Hile
Senior Analyst
he/him/his



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1650 Spruce Street, Suite 106

Riverside, California 92507 | USA

office: 951-787-9222 extension: 8180 cell: Privacy

cameronh@migcom.com

www.migcom.com

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AR 014546

COB_1296

AR011110

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pams@migcom.com
www.migcom.com
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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--
Pam Steele
Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (Privacy) to reach me. Thanks!



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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014547

COB_1297

AR011111

From: Pam Steele
Sent: Wednesday, September 15, 2021 1:36 PM PDT
To: Lisa Edwards
CC: Alex Steele; Adam Rush
Subject: Re: Banning Point LGE Design Build

Lisa,
Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.
Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:
In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin

ksin@banningca.gov

or

Joshua Monzon

jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>

Sent: Wednesday, September 15, 2021 11:20 AM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>

Subject: Re: Banning Point LGE Design Build

Lisa,
We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:
Just curious. At the time you submitted these studies, was a plan check fee collected from you?

AR 014548

COB_1298

AR011112

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,
Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.
Thank you!
Pam

----- Forwarded message -----

From: Cameron Hile <cameronh@migcom.com>
Date: Thu, Aug 19, 2021 at 11:51 AM
Subject: Re: Banning Point LGE Design Build
To: Pam Steele <pams@migcom.com>

Pam,
See attached...

Cameron Hile
Senior Analyst
he/him/his



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cameronh@migcom.com

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AR 014549

COB_1299

AR011113

Pam Steele
Principal

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AR 014550

COB_1300

AR011114

From: Alex Steele
Sent: Wednesday, September 15, 2021 2:58 PM PDT
To: Lisa Edwards
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,
Alex Steele

Senior Associate Planner



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your-email@migcom.com
www.migcom.com
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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, September 14, 2021 4:28 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

AR 014551

COB_1301

AR011115

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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Pam Steele

Principal

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AR 014552

COB_1302

AR011116

From: Pam Steele
Sent: Wednesday, September 15, 2021 6:46 PM PDT
To: Adam Rush
CC: Lisa Edwards; Alex Steele; Arturo Vela; Sandra Calderon
Subject: Re: Banning Point LGE Design Build
Attachments: image001.jpg, image001.jpg

Thank you, Adam.

On Wed, Sep 15, 2021, 6:29 PM Adam Rush <arush@banningca.gov> wrote:

Good Afternoon Pam,

Thank you for your email and I apologize for the confusion and delay! I am not sure when the request for additional plan check fees were determined; however, I am looping in the City's Public Works Director/City Engineer Mr. Art Vela herein.

We'll obtain clarification as quickly as possible and move forward with haste.

Thank you again and please let me know if you have any questions.

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: 

Direct Fax: 951-922-3128

arush@banningca.gov



AR 014553

COB_1303

AR011117

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov

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From: Pam Steele <pams@migcom.com>
Sent: Wednesday, September 15, 2021 1:37 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point LGE Design Build

Lisa,

Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.

Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin

ksin@banningca.gov

or

Joshua Monzon

jmonzon@banningca.gov

AR 014554

COB_1304

AR011118

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>
Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014555

COB_1305

AR011119

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: Cameron Hile <cameronh@migcom.com>
Date: Thu, Aug 19, 2021 at 11:51 AM
Subject: Re: Banning Point LGE Design Build
To: Pam Steele <pams@migcom.com>

Pam,

See attached...

AR 014556

COB_1306

AR011120

Cameron Hile

Senior Analyst

he/him/his



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AR 014557

COB_1307

AR011121

--
Pam Steele

Principal

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AR 014558

COB_1308

AR011122

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 10:28 AM PDT
To: Adam Rush
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

I haven't been able to get all dept clearance as of yet...so probably November.

From: Adam Rush <arush@banningca.gov>
Sent: Tuesday, September 7, 2021 3:27 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

AR 014559

COB_1952

AR011123

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:



Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014560

COB_1953

AR011124

From: Adam Rush
Sent: Wednesday, September 15, 2021 10:33 AM PDT
To: Lisa Edwards
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:28 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

I haven't been able to get all dept clearance as of yet...so probably November.

From: Adam Rush <arush@banningca.gov>
Sent: Tuesday, September 7, 2021 3:27 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
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<image001.jpg>

AR 014561

COB_1954

AR011125

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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Tuesday, September 7, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

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Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov

<image001.jpg>

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AR 014562

COB_1955

AR011126

AR 014563

COB_1956

AR011127

From: Adam Rush
Sent: Wednesday, September 15, 2021 11:11 AM PDT
To: Lisa Edwards
CC: Sandra Calderon
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

Engineering typically conveys this request either directly to the preparer of the TIA or sends the request through Sandra Calderon, who sends the request to the applicant.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 11:07 AM
To: Adam Rush <arush@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

So Engineering is asking for \$2800 in plan check fees to review VMT & Traffic studies. Do you know if Pam was made aware of these fees as of yet?

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 10:36 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

We do but it's on a case-by-case basis. LMK if you need assistance.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](http://www.banningca.gov)

AR 014564

COB_1957

AR011128

[Banning, CA, 92220](#)

Office: [\(951\) 922-3131](#)

Fax: [\(951\) 922-3128](#)

Cell: [Privacy](#)

Email: arush@banningca.gov

www.banningca.gov

On Sep 15, 2021, at 10:35 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

It's going slowly but surely.

Do we have any CEQA peer review resources or should this all be in-house?

From: Adam Rush <arush@banningca.gov>

Sent: Wednesday, September 15, 2021 10:33 AM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning

[99 Ramsey Street](#)

[Banning, CA, 92220](#)

Office: [\(951\) 922-3131](#)

Fax: [\(951\) 922-3128](#)

Cell: [Privacy](#)

Email: arush@banningca.gov

www.banningca.gov

On Sep 15, 2021, at 10:28 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

I haven't been able to get all dept clearance as of yet...so probably November.

AR 014565

COB_1958

AR011129

From: Adam Rush <arush@banningca.gov>
Sent: Tuesday, September 7, 2021 3:27 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: 
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov

<image001.jpg>

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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

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AR 014566

COB_1959

AR011130

Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov

<image001.jpg>

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AR 014567

COB_1960

AR011131

From: Alex Steele
Sent: Wednesday, September 15, 2021 11:20 AM PDT
To: Lisa Edwards
CC: Pam Steele
Subject: Re: Banning Point LGE Design Build
Attachments: DR 21-7008_APN 419-140-057 payment receipt.pdf

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,
Alex Steele

Senior Associate Planner



PLANNING | DESIGN | COMMUNICATIONS | MANAGEMENT | SCIENCE | TECHNOLOGY

1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8330 cell: [Privacy](#)
your-email@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)

On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:
Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, August 24, 2021 11:46 AM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>

Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: Cameron Hile <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

AR 014568

COB_1961

AR011132

Pam,
See attached...

Cameron Hile
Senior Analyst
he/him/his



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www.migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--

Pam Steele
Principal

*Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone **Privacy** to reach me. Thanks!*



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office: 951-787-9222 extension: 8360, cell: **Privacy**

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014569

COB_1962

AR011133

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 1:00 PM PDT
To: Adam Rush
CC: Sandra Calderon
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

Oh boy. They think that the EA fee they paid in 6/9/21 covers everything. Please advise 😊

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 11:11 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Sandra Calderon <scalderon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Engineering typically conveys this request either directly to the preparer of the TIA or sends the request through Sandra Calderon, who sends the request to the applicant.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
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Sent: Wednesday, September 15, 2021 11:07 AM
To: Adam Rush <arush@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

So Engineering is asking for \$2800 in plan check fees to review VMT & Traffic studies. Do you know if Pam was made aware of these fees as of yet?

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Sent: Wednesday, September 15, 2021 10:36 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

We do but it's on a case-by-case basis. LMK if you need assistance.

AR 014570

COB_1963

AR011134

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [REDACTED]
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:35 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

It's going slowly but surely.

Do we have any CEQA peer review resources or should this all be in-house?

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 10:33 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [REDACTED]
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:28 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014571

COB_1964

AR011135

I haven't been able to get all dept clearance as of yet...so probably November.

From: Adam Rush <arush@banningca.gov>
Sent: Tuesday, September 7, 2021 3:27 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Do you think we can get this on the PC Calendar for October?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

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Cell Line: **Privacy**
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Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

AR 014572

COB_1965

AR011136

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Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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AR 014573

COB_1966

AR011137

From: Adam Rush
Sent: Wednesday, September 15, 2021 1:04 PM PDT
To: Lisa Edwards
CC: Sandra Calderon
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

If the fee request is coming from Engineering, then we should direct the the applicant's representative to Kevin Sin and Joshua Monzon.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128
Cell: 
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 1:00 PM, Lisa Edwards <ledwards@banningca.gov> wrote:

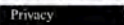
Oh boy. They think that the EA fee they paid in 6/9/21 covers everything. Please advise ☺

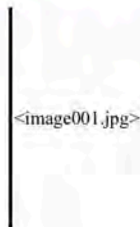
From: Adam Rush <arush@banningca.gov>
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To: Lisa Edwards <ledwards@banningca.gov>
Cc: Sandra Calderon <scalderon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: 


<image001.jpg>

AR 014574

COB_1967

AR011138

Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov

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To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

We do but it's on a case-by-case basis. LMK if you need assistance.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](tel:(951)922-3131)
Fax: [\(951\) 922-3128](tel:(951)922-3128)
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Sep 15, 2021, at 10:35 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

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Do we have any CEQA peer review resources or should this all be in-house?

AR 014575

COB_1968

AR011139

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 15, 2021 10:33 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Are you planning to review the CEQA document? If not, please do.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
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[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](tel:(951)922-3131)
Fax: [\(951\) 922-3128](tel:(951)922-3128)
Cell: [Privacy](#)
Email: arush@banningca.gov
www.banningca.gov

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Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Sincerely,

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Community Development Department

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AR 014576

COB_1969

AR011140

recipient or the employee or agent responsible for delivering the message to the intended recipient, if you have received this communication in error, please notify us immediately by telephone. Thank you.

From: Sandra Calderon <scalderon@banningca.gov>

Sent: Tuesday, September 7, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

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Click on the link below to download documents:

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Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
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AR 014577

COB_1970

AR011141

AR 014578

COB_1971

AR011142

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 1:27 PM PDT
To: Alex Steele
CC: Pam Steele
Subject: Re: Banning Point LGE Design Build

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin

ksin@banningca.gov

or

Joshua Monzon

jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>

Sent: Wednesday, September 15, 2021 11:20 AM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>

Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



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Sent: Tuesday, August 24, 2021 11:46 AM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>

Subject: Fwd: Banning Point LGE Design Build

Lisa,

AR 014579

COB_1972

AR011143

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: **Cameron Hile** <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile

Senior Analyst

he/him/his



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1650 Spruce Street, Suite 106

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pams@migcom.com

www.migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!

AR 014580

COB_1973

AR011144



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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014581

COB_1974

AR011145

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 2:37 PM PDT
To: Kevin Sin; Sandra Calderon
CC: Joshua Monzon
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.png, image002.jpg

Received. Thanks, Kevin!

From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, September 15, 2021 2:18 PM
To: Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Thanks Lisa. We will wait to hear from the applicant on the pc fee.

Here's the comments for the Preliminary Hydrology Report via the link below. This should be the last comments on the 2nd submittal.

[DOWNLOAD: 18014001/165 - Sun Lakes Blvd & Sun Lakes V](#) Privacy

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 2:06 PM
To: Kevin Sin <ksin@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Ok. Sounds good. I have directed the applicant to coordinate with Engineering regarding fees. They are not happy about having to pay more fees, but nobody does. ☐

AR 014582

COB_1975

AR011146

They are also hopeful to get a quick turnaround as they would like to make the November Planning Commission meeting. Thanks so much!

From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, September 15, 2021 10:57 AM
To: Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Lisa,

Yes, we can review the two traffic related memos but not the air quality memo. If the applicant submitted these two traffic related memos and requested the City for review and approval then there's a plan check fee of \$2,800 payable to the City of Banning is needed.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 10:43 AM
To: Kevin Sin <ksin@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Kevin,

Is Engineering able to review the attached studies as well?

Thanks so much!

From: Kevin Sin <ksin@banningca.gov>
Sent: Tuesday, September 14, 2021 4:59 PM
To: Sandra Calderon <scalderon@banningca.gov>

AR 014583

COB_1976

AR011147

Cc: Lisa Edwards <ledwards@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Sandra,

Please find the 2nd review comments of the subject development via the link below and also attached.

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLA](#) Privacy

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLAGE - TENTATIVE PA](#) Privacy [PC2](#)

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLAGE -](#) Privacy
[PC2](#)

Let me know if you have any questions.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Tuesday, September 07, 2021 3:23 PM

To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte

AR 014584

COB_1977

AR011148

[<amloconte@banningca.gov>](mailto:amloconte@banningca.gov)

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

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Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014585

COB_1978

AR011149

From: Lisa Edwards
Sent: Wednesday, September 15, 2021 2:41 PM PDT
To: Pam Steele
CC: Adam Rush; Alex Steele
Subject: Re: Banning Point - CEQA review
Attachments: Overall Site Plan (with comments).pdf

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, September 14, 2021 4:28 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [redacted] to reach me. Thanks!



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AR 014586

COB_1979

AR011150

office: 951-787-9222 extension: 8360, cell: [REDACTED]
pams@migcom.com
www.migcom.com
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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--
Pam Steele
Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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office: 951-787-9222 extension: 8360, cell: [REDACTED]
pams@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)
WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014587

COB_1980

AR011151

From: James Wurtz
Sent: Wednesday, September 15, 2021 3:08 PM PDT
To: Lisa Edwards
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

None. Thanks.

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: [REDACTED]
jwurtz@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 3:05 PM
To: Sandra Calderon <scalderon@banningca.gov>; Adam Rush <arush@banningca.gov>; Brandon Robinson <brobins@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmill@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi All,

Just double checking to see if anyone has final comments on this 2nd submittal. If so, please forward to me (or Sandra) asap! Thanks a bunch!

AR 014588

COB_1981

AR011152

From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,
Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

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Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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AR 014589

COB_1982

AR011153

From: Kevin Sin
Sent: Wednesday, September 15, 2021 4:44 PM PDT
To: alexs@migcom.com; Joshua Monzon
CC: Adam Rush; Pam Steele; Lisa Edwards
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)
Attachments: image001.png

Alex,

Public Works/Engineering will be reviewing the two traffic related memos only. The plan check fee is \$2,800 payable to the City of Banning. You may pay the fee at City Hall or mail the check to the address below.

Public Works Department
99 E. Ramsey Street
Banning, CA 92220
Attention: Josh Monzon

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 3:08 PM
To: Kevin Sin <ksin@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: Banning Point VMT & Traffic Study Review (DR 21-7008)

Kevin/Joshua,

Good afternoon. On August 24th, we submitted studies for review associated with our Design Review application DR 21-7008. We just became aware today that additional review fees are due in order for Engineering to review these reports. Lisa Edwards asked us to contact you in order to determine the fees due. Would you please respond with an invoice so we can get this paid as soon as possible?

AR 014590

COB_1983

AR011154

The studies that were submitted are attached just in case you need anything from them in order to determine the review fee.

Thank you,

Alex Steele

Senior Associate Planner



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your-email@migcom.com
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AR 014591

COB_1984

AR011155

From: Brandon Robinson
Sent: Wednesday, September 15, 2021 4:53 PM PDT
To: Sandra Calderon
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image002.jpg, image003.jpg

Hey Sandra,

Is there anywhere that I can access the docs for CUP 21-8016, SPR 21-7524 and DR 21-7008? All the links have expired. Thanks.

Brandon Robinson
Electrical Engineering Supervisor
Electric Utility
City of Banning
Direct Line: 951-922-3263
Direct Fax: 951-849-1550
brobinson@banningca.gov
PO Box 998
176 E. Lincoln Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

AR 014592

COB_1985

AR011156

Click on the link below to download documents:

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Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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AR 014593

COB_1986

AR011157

From: Adam Rush
Sent: Wednesday, September 15, 2021 6:29 PM PDT
To: 'Pam Steele'; Lisa Edwards
CC: alexs@migcom.com; Arturo Vela; Sandra Calderon
Subject: RE: Banning Point LGE Design Build
Attachments: image001.jpg
Importance: High

Good Afternoon Pam,

Thank you for your email and I apologize for the confusion and delay! I am not sure when the request for additional plan check fees were determined; however, I am looping in the City's Public Works Director/City Engineer Mr. Art Vela herein.

We'll obtain clarification as quickly as possible and move forward with haste.

Thank you again and please let me know if you have any questions.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Pam Steele <pams@migcom.com>
Sent: Wednesday, September 15, 2021 1:37 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point LGE Design Build

Lisa,
Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.
Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014594

COB_1987

AR011158

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin
ksin@banningca.gov
or
Joshua Monzon
jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>
Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele
Senior Associate Planner



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www.migcom.com
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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM

AR 014595

COB_1988

AR011159

To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----
From: **Cameron Hile** <cameronh@migcom.com>
Date: Thu, Aug 19, 2021 at 11:51 AM
Subject: Re: Banning Point LGE Design Build
To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile
Senior Analyst
[hie/him/hus](#)



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1650 Spruce Street, Suite 106
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office: 951-787-9222 extension: 8180 cell: Privacy

cameronh@migcom.com

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AR 014596

COB_1989

AR011160



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office: 951-787-9222 extension: 8360, cell: [REDACTED]

pams@migcom.com

www.migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014597

COB_1990

AR011161

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 2:58 PM
To: Lisa Edwards
Cc: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



PLANNING | DESIGN | COMMUNICATIONS | MANAGEMENT | SCIENCE | TECHNOLOGY

1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8360, **cell: 951-733-5240**
pams@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)
WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--

Pam Steele

Principal

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From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, September 15, 2021 4:44 PM
To: alexs@migcom.com; Joshua Monzon
Cc: Adam Rush; Pam Steele; Lisa Edwards
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Alex,

Public Works/Engineering will be reviewing the two traffic related memos only. The plan check fee is \$2,800 payable to the City of Banning. You may pay the fee at City Hall or mail the check to the address below.

Public Works Department
99 E. Ramsey Street
Banning, CA 92220
Attention: Josh Monzon

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 3:08 PM
To: Kevin Sin <ksin@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: Banning Point VMT & Traffic Study Review (DR 21-7008)

Kevin/Joshua,

Good afternoon. On August 24th, we submitted studies for review associated with our Design Review application DR 21-7008. We just became aware today that additional review fees are due in order for Engineering to review these reports. Lisa Edwards asked us to contact you in order to determine the fees due. Would you please respond with an invoice so we can get this paid as soon as possible?

The studies that were submitted are attached just in case you need anything from them in order to determine the review fee.

Thank you,

Alex Steele

Senior Associate Planner



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your-email@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 1:27 PM
To: Alex Steele
Cc: Pam Steele
Subject: Re: Banning Point LGE Design Build

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin
ksin@banningca.gov
or
Joshua Monzon
jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>
Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: Cameron Hile <cameronh@migcom.com>
Date: Thu, Aug 19, 2021 at 11:51 AM
Subject: Re: Banning Point LGE Design Build
To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile

Senior Analyst
he/him/his



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1650 Spruce Street, Suite 106

Riverside, California 92507 | USA

office: 951-787-9222 extension: 8180 cell: 626-840-7719

cameronh@migcom.com

www.migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--
Pam Steele
Principal

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 11:17 AM
To: Pam Steele
Cc: Alex Steele
Subject: Re: Banning Point LGE Design Build

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: **Cameron Hile** <cameronh@migcom.com>
Date: Thu, Aug 19, 2021 at 11:51 AM
Subject: Re: Banning Point LGE Design Build
To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile

Senior Analyst
he/him/his



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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 2:41 PM
To: Pam Steele
Cc: Adam Rush; Alex Steele
Subject: Re: Banning Point - CEQA review
Attachments: 2021-08-05-Preliminary Hydrology Report.pdf; 18014001-165_Banning47-Prelim Hydrology Report-PC2Memo.docx; 18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf; Overall Site Plan (with comments).pdf

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

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Pam Steele

Principal

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--

Pam Steele

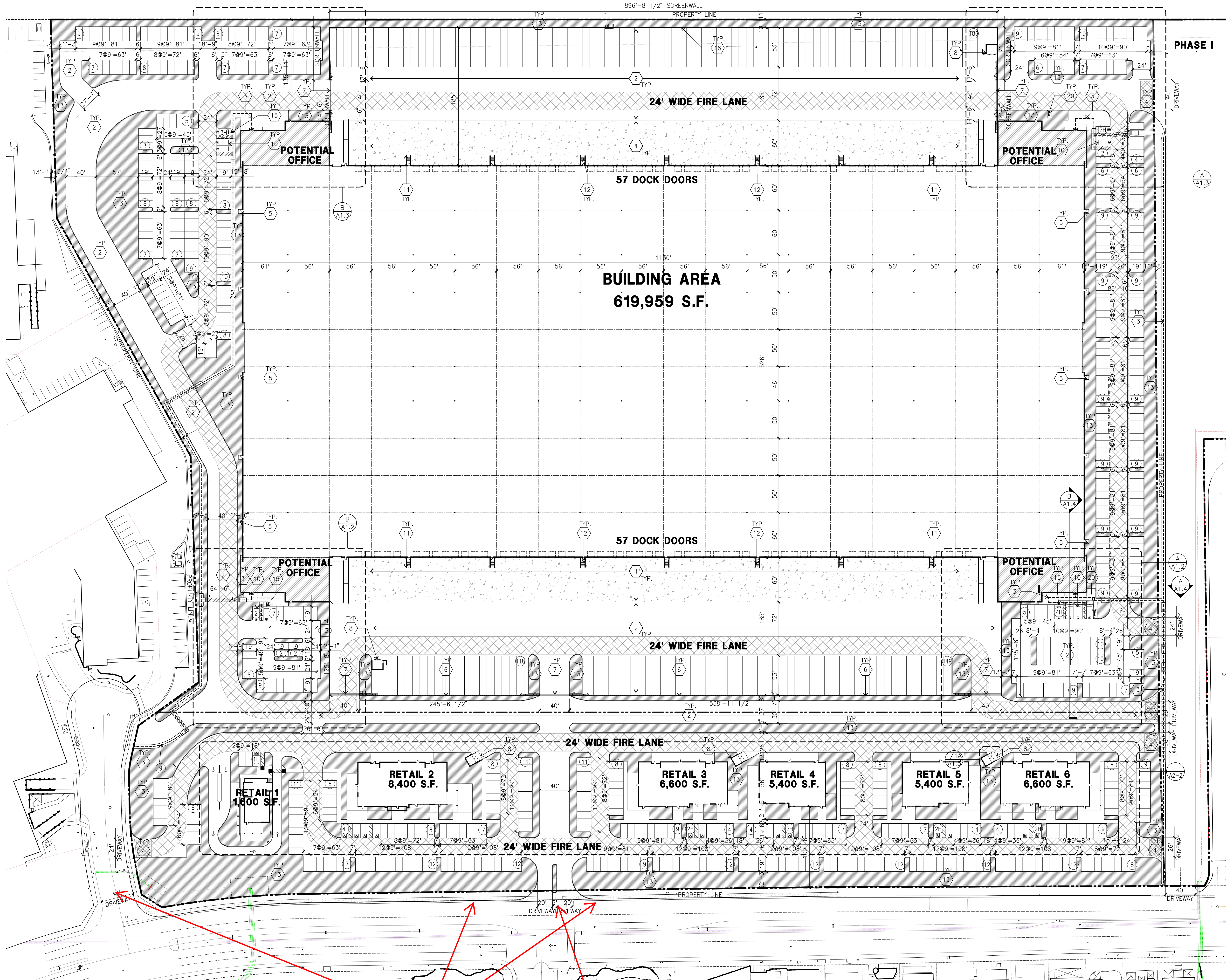
Principal

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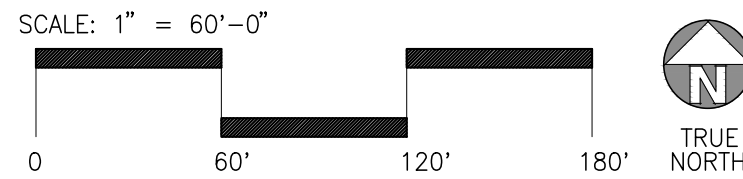
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Install an interim paved golf cart access adjacent to the existing

Provide golf cart access at the future signalized

OVERALL SITE PLAN A
scale: 1" = 60'-0"



SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONC. PAVEMENT.
- PAVING PER CIVIL
- CONCRETE WALKWAY
- DRIVEWAY APRON @ ENTRANCE
- 5'-6"x5'-6"x4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 8"H WROUGHT IRON FENCE
- PROVIDE METAL, MANUAL OPERATED GATES W/ KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- TRASH ENCLOSURE
- SMOKING AREA.
- PRE-CAST CONC. WHEEL STOP

- CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- EXTERIOR CONC. STAIR
- LANDSCAPE - SEE "L" DWGS. LANDSCAPE AREAS INDICATED BY SHADED PATTERN.
- HANDICAPPED ENTRY SIGN
- HANDICAPPED PARKING STALL SIGN
- 14" CONCRETE TILT WALL TO SCREEN THE TRUCK YARD
- APPROXIMATE LOCATION OF THE TRANSFORMER AND GENERATOR
- NOT USED.
- CONCRETE SIDEWALK. SEE CIVIL PLAN.
- BIKE RACK.

SITE PLAN GENERAL NOTES

- NOT USED.
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
- NOT USED
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL NEW UTILITY CONNECTIONS WITHIN THE ROAD RIGHT OF WAY ARE PER SEPARATE REVIEW AND PERMIT
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT

SITE LEGEND

- LANDSCAPED AREA
- PAVING - SEE "C" DWGS. FOR THICKNESS
- CONCRETE PAVING SEE "C" DWGS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 19')
- HANDICAPPED PARKING STALL (9' X 19')

Property owner

LGE DESIGN GROUP
1200 NORTH 52ND STREET
PHOENIX, AZ 85008
ARCHITECT: BEN McRAE
PROJECT DIRECTOR: JOHN MOCARSKI
PHONE: 480-966-4001
E-MAIL: JOHN.M@LGEDESIGNGROUP.COM

Address of the property

TBD
Assessor's Parcel Number
419-140-057
Zoning
REGIONAL INDUSTRIAL

Legal description

REAL PROPERTY IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SECTION 12, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, SHOWN AS A PORTION OF THE REMAINDER PARCEL ON PARCEL MAP NO. 22175 ON FILE IN BOOK 145 PAGES 61 THROUGH 67, INCLUSIVE OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, LYING NORTH OF THE NORTH LINE OF SUN LAKES BOULEVARD AS DESCRIBED IN THE GRANT DEED TO THE CITY OF BANNING BY DEED RECORDED DECEMBER 12, 1988 AS INSTRUMENT NO. 86-316895 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA AND AS SHOWN ON SAID PARCEL MAP.

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 27450-3 IN BOOK 269 PAGES 58 THROUGH 66 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF PARCEL MAP NO. 23921 IN BOOK 159 PAGES 68 THROUGH 71 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF PARCEL MAP NO. 29395 IN BOOK 195 PAGES 66 AND 67 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 27450-1 IN BOOK 254 PAGES 85 THROUGH 94 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 27450-2 IN BOOK 260 PAGES 34 THROUGH 36 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 28142-1 IN BOOK 260 PAGES 37 THROUGH 39 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 28142-2 IN BOOK 269 PAGES 67 THROUGH 70 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 30184 IN BOOK 321 PAGES 77 THROUGH 78 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN THE BOUNDARIES OF TRACT NO. 28032 IN BOOK 254 PAGES 95 THROUGH 98 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

Applicant

LGE DESIGN GROUP
1200 NORTH 52ND STREET
PHOENIX, AZ 85008
ARCHITECT: BEN McRAE
PROJECT DIRECTOR: JOHN MOCARSKI
PHONE: 480-966-4001
E-MAIL: JOHN.M@LGEDESIGNGROUP.COM

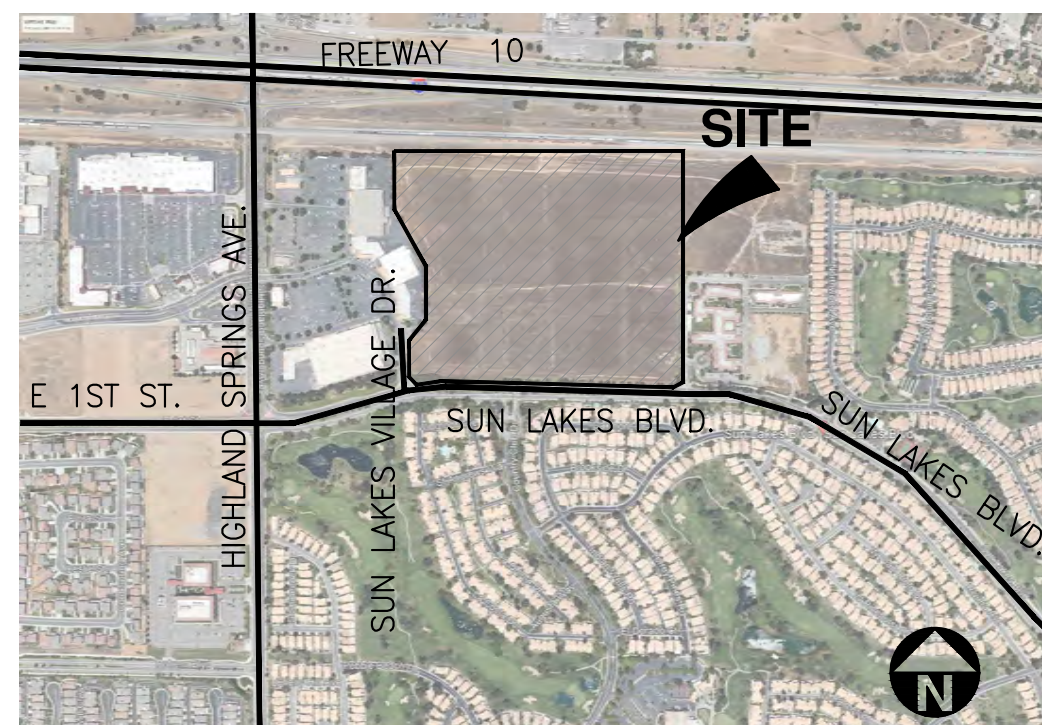
Applicant's representative

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2116
ATTN: SHA LIU MAHONEY

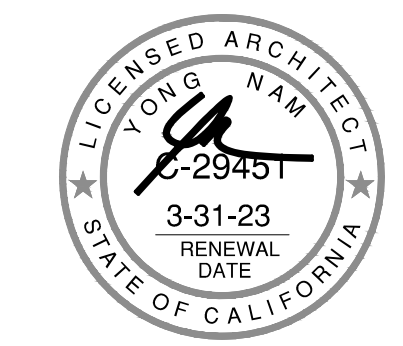
PROJECT DATA

DETAILS	Area	Area	Area
Total Site Area:	30,210.00 s.f.	1,316,360 s.f.	267,402 s.f.
BUILDING AREA			
Office - 1st floor	10,000 s.f.	0 s.f.	1,000 s.f.
Office - 2nd floor	0 s.f.	0 s.f.	0 s.f.
Warehouse	69,000 s.f.	0 s.f.	6,900 s.f.
TOTAL	69,000 s.f.	0 s.f.	7,900 s.f.
COVERAGE			
AUTO PARKING REQUIRED	40 stalls	0 stalls	0 stalls
Office - 1st floor	20 stalls	0 stalls	0 stalls
Office - 2nd floor	0 stalls	0 stalls	0 stalls
Warehouse	20 stalls	0 stalls	0 stalls
TOTAL	40 stalls	0 stalls	0 stalls
AUTO PARKING PROVIDED	301 stalls	0 stalls	0 stalls
Standard (9' x 19')	135 stalls	0 stalls	0 stalls
ADA	40 stalls	0 stalls	0 stalls
TOTAL	175 stalls	0 stalls	0 stalls
TRAFFIC PARKING PROVIDED	100 stalls	0 stalls	0 stalls
Standard (9' x 19')	100 stalls	0 stalls	0 stalls
ADA	0 stalls	0 stalls	0 stalls
TOTAL	100 stalls	0 stalls	0 stalls
LANDSCAPE REQUIREMENT	17% of lot area including the parking area	0 s.f.	0 s.f.
LANDSCAPE PROVIDED	17%	0 s.f.	0 s.f.
LANDSCAPE REQUIREMENT	17% of lot area including the parking area	0 s.f.	0 s.f.
LANDSCAPE PROVIDED	17%	0 s.f.	0 s.f.

VICINITY MAP



hpa, inc.
18831 bardeen avenue, - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner:

LGE DESIGNBUILD

Project:

Banning Point

City of Banning, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: OVERALL SITE PLAN

Project Number: 20394
Drawn by: SLM
Date: 04/30/21
Revision:

Sheet:

DAB-A1.1

OFFICIAL USE ONLY

From: Pam Steele
Sent: Thursday, September 16, 2021 7:22 AM PDT
To: Arturo Vela
CC: Adam Rush; Lisa Edwards; alexs@migcom.com; Sandra Calderon; Kevin Sin
Subject: Re: Banning Point LGE Design Build

Thank you Arturo.

On Thu, Sep 16, 2021 at 7:20 AM Arturo Vela <avela@banningca.gov> wrote:

Pam,

We will go ahead and begin reviewing the TIA while work out the fees.

Thank you,

Art V.

Director of Public Works

Sent from my iPhone

On Sep 15, 2021, at 6:47 PM, Pam Steele <pams@migcom.com> wrote:

Thank you, Adam.

On Wed, Sep 15, 2021, 6:29 PM Adam Rush <arush@banningca.gov> wrote:

Good Afternoon Pam,

Thank you for your email and I apologize for the confusion and delay! I am not sure when the request for additional plan check fees were determined; however, I am looping in the City's Public Works Director/City Engineer Mr. Art Vela herein.

We'll obtain clarification as quickly as possible and move forward with haste.

Thank you again and please let me know if you have any questions.

AR 014611

COB_0627

AR011175

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: Privacy

Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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From: Pam Steele <pams@migcom.com>

Sent: Wednesday, September 15, 2021 1:37 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Alex Steele <alexs@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point LGE Design Build

Lisa,

Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.

Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014612

COB_0628

AR011176

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin

ksin@banningca.gov

or

Joshua Monzon

jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
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Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



AR 014613
COB_0629
AR011177

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1650 Spruce Street, Suite 106
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your-email@migcom.com
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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

AR 014614

COB_0630

AR011178

----- Forwarded message -----

From: **Cameron Hile** <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile

Senior Analyst

he/him/his



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office: 951-787-9222 extension: 8180 cell

cameronh@migcom.com

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AR 014615

COB_0631

AR011179

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Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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Pam Steele

AR 014616

COB_0632

AR011180

Principal

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AR 014617

COB_0633

AR011181

From: Arturo Vela
Sent: Thursday, September 16, 2021 7:20 AM PDT
To: Pam Steele
CC: Adam Rush; Lisa Edwards; alexs@migcom.com; Sandra Calderon; Kevin Sin
Subject: Re: Banning Point LGE Design Build

Pam,
We will go ahead and begin reviewing the TIA while work out the fees.
Thank you,
Art V.
Director of Public Works

Sent from my iPhone

On Sep 15, 2021, at 6:47 PM, Pam Steele <pams@migcom.com> wrote:

Thank you, Adam.

On Wed, Sep 15, 2021, 6:29 PM Adam Rush <arush@banningca.gov> wrote:

Good Afternoon Pam,

Thank you for your email and I apologize for the confusion and delay! I am not sure when the request for additional plan check fees were determined; however, I am looping in the City's Public Works Director/City Engineer Mr. Art Vela herein.

We'll obtain clarification as quickly as possible and move forward with haste.

Thank you again and please let me know if you have any questions.

AR 014618

COB_1309

AR011182

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: **Privacy**

Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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From: Pam Steele <pams@migcom.com>

Sent: Wednesday, September 15, 2021 1:37 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Alex Steele <alexs@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point LGE Design Build

Lisa,

Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.

Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014619

COB_1310

AR011183

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin

ksin@banningca.gov

or

Joshua Monzon

jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>
Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



AR 014620
COB_1311
AR011184

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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

AR 014621

COB_1312

AR011185

----- Forwarded message -----

From: **Cameron Hile** <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile

Senior Analyst

he/him/his



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AR 014622

COB_1313

AR011186

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Pam Steele

Principal

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AR 014623

COB_1314

AR011187

From: Sandra Calderon
Sent: Thursday, September 16, 2021 12:01 PM PDT
To: Paul Lindley
Subject: Sandra Calderon shared the folder "2nd Submittal 08.10.2021" with you.



Sandra Calderon shared a folder with you

Hi Paul, per your request. DR 21-7008 2nd Sub

thanks,
Sandra



2nd Submittal 08.10.2021



This link only works for the direct recipients of this message.

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AR 014624

COB_1315

AR011188

From: Arturo Vela
Sent: Thursday, September 16, 2021 7:18 AM PDT
To: Kevin Sin
Subject: Fwd: Banning Point LGE Design Build
Attachments: image001.jpg, image001.jpg

See email below. Do they know what the fees are that we need? Go ahead and send the TIA for review, but still collect the fee.

Sent from my iPhone

Begin forwarded message:

From: Pam Steele <pams@migcom.com>
Date: September 15, 2021 at 6:47:19 PM PDT
To: Adam Rush <arush@banningca.gov>
Cc: Lisa Edwards <ledwards@banningca.gov>, alexs@migcom.com, Arturo Vela <avela@banningca.gov>, Sandra Calderon <scalderon@banningca.gov>
Subject: Re: Banning Point LGE Design Build

Thank you, Adam.

On Wed, Sep 15, 2021, 6:29 PM Adam Rush <arush@banningca.gov> wrote:

Good Afternoon Pam,

Thank you for your email and I apologize for the confusion and delay! I am not sure when the request for additional plan check fees were determined; however, I am looping in the City's Public Works Director/City Engineer Mr. Art Vela herein.

We'll obtain clarification as quickly as possible and move forward with haste.

Thank you again and please let me know if you have any questions.

AR 014625

COB_1991

AR011189

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: Privacy

Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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From: Pam Steele <pams@migcom.com>

Sent: Wednesday, September 15, 2021 1:37 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Alex Steele <alexs@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point LGE Design Build

Lisa,

Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.

Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014626

COB_1992

AR011190

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin

ksin@banningca.gov

or

Joshua Monzon

jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>
Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele

Senior Associate Planner



AR 014627
COB_1993
AR011191

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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

AR 014628

COB_1994

AR011192

----- Forwarded message -----

From: **Cameron Hile** <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile

Senior Analyst

he/him/his



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cameronh@migcom.com

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AR 014629

COB_1995

AR011193

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Pam Steele

Principal

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AR 014630

COB_1996

AR011194

From: Adam Rush
Sent: Thursday, September 16, 2021 9:28 AM PDT
To: Arturo Vela
CC: Sandra Calderon
Subject: RE: Banning Point LGE Design Build
Attachments: image001.jpg

I am aware of that. Further, I've asked both Lisa and Sandra Calderon if this fee request was ever funneled to or through Planning. Neither provided a positive response.

I am happy to collect the fee, upfront, on behalf of the PWD (for a nominal surcharge of course).

Thanks!

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
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From: Arturo Vela <avela@banningca.gov>
Sent: Thursday, September 16, 2021 7:23 AM
To: Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point LGE Design Build

Adam,

The environment looks assessment review that is collected does not include our TIA review fees. Perhaps we can begin including our fee in Planning's initial fee statement.

Let me know if there is a better solution to inform applicants of the fee upfront. We haven't had any other issues related to this fee up to this point.

Sent from my iPhone

AR 014631

COB_1997

AR011195

On Sep 15, 2021, at 6:29 PM, Adam Rush <arush@banningca.gov> wrote:

Good Afternoon Pam,

Thank you for your email and I apologize for the confusion and delay! I am not sure when the request for additional plan check fees were determined; however, I am looping in the City's Public Works Director/City Engineer Mr. Art Vela herein.

We'll obtain clarification as quickly as possible and move forward with haste.

Thank you again and please let me know if you have any questions.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line:  Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov

<image001.jpg>

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From: Pam Steele <pams@migcom.com>
Sent: Wednesday, September 15, 2021 1:37 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point LGE Design Build

Lisa,
Will they be able to review these studies quickly? We are frustrated that we were not aware of these fees earlier.
Pam

On Wed, Sep 15, 2021, 1:27 PM Lisa Edwards <ledwards@banningca.gov> wrote:

In order to complete review of the VMT & Traffic studies, they will need to collect plan check fees from you at your earliest convenience. Please reach out to the following contacts for fee info:

Kevin Sin
ksin@banningca.gov

AR 014632

COB_1998

AR011196

or
Joshua Monzon
jmonzon@banningca.gov

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 11:20 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>
Subject: Re: Banning Point LGE Design Build

Lisa,

We were invoiced \$8,209 for the Environmental Assessment (along with the rest of the application fees), and we paid this on June 9th. Please see attached receipt.

Thank you,

Alex Steele
Senior Associate Planner



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On Wed, Sep 15, 2021 at 11:16 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Just curious. At the time you submitted these studies, was a plan check fee collected from you?

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, August 24, 2021 11:46 AM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Alex Steele <alexs@migcom.com>; Sandra Calderon <scalderon@banningca.gov>; Kent Norton <knorton@migcom.com>; Cameron Hile <cameronh@migcom.com>
Subject: Fwd: Banning Point LGE Design Build

Lisa,

AR 014633

COB_1999

AR011197

Good morning! Please see the attached CEQA documents for the Banning Point project including the CEQA Consistency Determination and technical studies for your review. Please let us know if you need anything else at this time.

Thank you!

Pam

----- Forwarded message -----

From: **Cameron Hile** <cameronh@migcom.com>

Date: Thu, Aug 19, 2021 at 11:51 AM

Subject: Re: Banning Point LGE Design Build

To: Pam Steele <pams@migcom.com>

Pam,

See attached...

Cameron Hile
Senior Analyst
he/him/his



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AR 014634

COB_2000

AR011198

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Pam Steele

Principal

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AR 014635

COB_2001

AR011199

From: Sandra Calderon
Sent: Thursday, September 16, 2021 1:31 PM PDT
To: Paul Lindley
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg

Received.

Thank you,
Sandra

From: Paul Lindley <plindley@banningca.gov>
Sent: Thursday, September 16, 2021 12:30 PM
To: Sandra Calderon <scalderon@banningca.gov>; Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte

AR 014636

COB_2002

AR011200

* Privacy

[<amloconte@banningca.gov>](mailto:amloconte@banningca.gov)

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

Privacy

Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014637

COB_2003

AR011201

From: Lisa Edwards
Sent: Thursday, September 16, 2021 5:15 PM PDT
To: alexs@migcom.com
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review
Attachments: Fire_DR 21-7008_Banning Point APN 419-140-057 (2Sub).pdf

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 2:58 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,
Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>

AR 014638

COB_2004

AR011202

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

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Thank you for your assistance,
Pam

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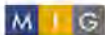
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Please let us know.
Thank you!
Pam

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Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (Privacy) to reach me. Thanks!



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AR 014639

COB_2005

AR011203

AR 014640

COB_2006

AR011204

CITY OF BANNING

Electric Utility



September 23, 2021

RE: DR 21-7008 2nd Submittal, TPM 21-4001 & ENV 21-1510 ZONE: Sun Lakes North Specific Plan

ADDRESS / APN: NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

APPLICANT: MIG Inc./Pamela Steele

PROJECT MANAGER: Lisa Edwards

PROJECT DESCRIPTION:

Proposed Industrial warehouse building measuring 619,959 SF, which will include 10,000 SF of office space, and six (6) retail/restaurant buildings totaling 34,000 SF on 6.83 Acres.

CONDITIONS & COMMENTS:

Currently there are 4 spans of overhead electric power lines on the northern side of the proposed project site along Parcels 2 and 3. The developer will be responsible for the cost to place this line underground as well as the cost to extend the electric utility lines through the proposed project site. There is also underground infrastructure on the northwest end of the property along the northern and western borders of Parcel 2, and also on the northeast end of the property along the northern, eastern, and southern borders of Parcel 3. The developer will be responsible for protecting the infrastructure in place or relocating the facilities using an approved relocation plan.

All existing electrical infrastructure on the property will require a 10ft easement, as well as the appropriate equipment clearances as described in Banning Electric Utility standards SD600-05 & 72. The proposed location of the screen wall on the north area of the property will not provide the adequate clearance for the existing vaults along the north boundary. The location of trees/landscaping along the northern property boundary will be in direct conflict with the existing underground primary electric lines.

Please include a site utility plan that details the proposed location of service transformers and service switchgear/switchboards/electrical rooms etc.

The proposed Underground Storage System shown near the north property boundary on the Tentative Parcel Map will directly interfere with the existing overhead pole line. The UG conversion of this pole line must be routed around the storage system and adequate clearances must be maintained.

Below is a basic list of requirements needed to be accomplished for the undergrounding of electric infrastructure:

- The electric service will be a 12,470V Y primary feeder with a three-phase 277/480V pad-mounted transformer to be installed in a suitable area on the property for electric service.
- The point of connection (POC) for electric service shall be underground from utility infrastructure along the northern border of the property.

AR 012561

AR011205

- A pad-mounted switch will be required at the POC which shall be installed within the customer's property.
- The Utility will require a power quality meter to measure power quality at each service larger than 1000A.
- Any reference to the point of connection (POC) or any plans showing electric utility infrastructure other than the Banning Electric Utility plan shall not be used for job estimating or construction.
- Areas/Locations will be required for onsite electric distribution equipment such as the pad-mounted transformer, pad-mounted switchgear, vault & service equipment etc. The areas/locations must be sufficient for safe operation and maintenance of the electric equipment. The infrastructure installed shall be adequate to support safe delivery of power to this project.
- The developer will be responsible for dedicating an easement for areas of onsite electric utility infrastructure.
- The developer will be responsible for all costs of onsite/offsite electric utility infrastructure needed to supply power to this project.
- The developer is responsible for cost associated with any relocations of utility poles or supporting apparatus due to street improvements, grading or lot line adjustments that might be required.
- Please see the attached Electric Utility General Commercial Service Requirements. Please follow the attached Electric Utility General Commercial Service Requirements.
- Complete the attached Commercial New Service Requirements sheet and return it to the COB Electric Utility.

Brandon Robinson
Electrical Engineering Supervisor
City of Banning - Electric Utility
951.922.3263 Office

The City of Banning promotes and supports a high quality of life that ensures a safe and friendly environment, fosters new opportunities and provides responsive, fair treatment to all and is the pride of its citizens.

AR 012562

AR011206

From: Adam Rush
Sent: Monday, September 20, 2021 4:45 PM PDT
To: Lisa Edwards
CC: alexs@migcom.com; Pam Steele
Subject: Re: Banning Point - CEQA review

Lisa,
Remind me to bring this up tomorrow during our staff meeting.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [\(760\) 219-2791](#)
Email: arush@banningca.gov
www.banningca.gov

On Sep 20, 2021, at 2:41 PM, Lisa Edwards <ledwards@banningca.gov> wrote:

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Again, thanks for your patience and feel free to reach out if you need any other assistance.

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Sent: Monday, September 20, 2021 12:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

AR 014641

COB_0066

AR011207

Lisa,
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Alex Steele

Senior Associate Planner



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Senior Associate Planner



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AR 014642

COB_0067

AR011208



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Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

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Pam Steele

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AR 014643

COB_0068

AR011209



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AR 014644

COB_0069

AR011210

From: Lisa Edwards
Sent: Monday, September 20, 2021 2:40 PM PDT
To: alexs@migcom.com
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Hi Alex,

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Subject: Re: Banning Point - CEQA review

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Alex Steele
Senior Associate Planner



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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 2:58 PM
To: Lisa Edwards <ledwards@banningca.gov>

AR 014645

COB_1316

AR011211

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

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Thank you,
Alex Steele

Senior Associate Planner



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To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

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AR 014646

COB_1317

AR011212

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Pam

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Pam Steele
Principal

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AR 014647

COB_1318

AR011213

From: Alex Steele
Sent: Monday, September 20, 2021 12:04 PM PDT
To: Lisa Edwards
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Lisa,

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Senior Associate Planner



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AR 014648

COB_2007

AR011214

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AR 014649

COB_2008

AR011215

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AR 014650

COB_2009

AR011216

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Cc: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

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Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



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pams@migcom.com
www.migcom.com
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Pam Steele

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From: Lisa Edwards
Sent: Tuesday, September 21, 2021 10:24 AM PDT
To: alexs@migcom.com
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Pam/Alex,

Just an update.

Art has given us a timeline of completion for VMT & TIA studies by end of next week.

At this time, we are on track for the November 3, 2021 Planning Commission meeting to hear your project.

Let me know if you have any questions.

From: Alex Steele <alexs@migcom.com>

Sent: Monday, September 20, 2021 12:04 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

AR 014655

COB_1319

AR011221

Thank you,
Alex Steele

Senior Associate Planner



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Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



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Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

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--

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AR 014656

COB_1320

AR011222



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AR 014657

COB_1321

AR011223

From: Pam Steele
Sent: Tuesday, September 21, 2021 10:32 AM PDT
To: Lisa Edwards
CC: Alex Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

We cannot are the October 6 meeting?

On Tue, Sep 21, 2021, 10:24 AM Lisa Edwards <ledwards@banningca.gov> wrote:

Pam/Alex,

Just an update.

Art has given us a timeline of completion for VMT & TIA studies by end of next week.

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Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

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Alex Steele

Senior Associate Planner



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Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

AR 014658

COB_2010

AR011224

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,
Alex Steele

Senior Associate Planner



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Subject: Re: Banning Point - CEQA review

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Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

AR 014659

COB_2011

AR011225

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Pam Steele
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AR 014660

COB_2012

AR011226

From: Jagger Everett
Sent: Wednesday, September 22, 2021 12:16 PM PDT
To: Adam Rush
CC: Pam Steele; alexs@migcom.com; Grant Kingdon; Lisa Edwards; Sandra Calderon
Subject: RE: Banning Point
Attachments: image001.jpg

Adam,

Thank you very much for the clarification. I appreciate you helping us navigate a new process for us. As much as staff has helped set us up for success, we want to make sure we are responsive and providing all requirements in a timely manner. Please let us know specifically what our team owes you so we can help expedite. If possible, we would love to work on a POTENTIAL special session if staff would be willing to accommodate. Our team is currently working on the construction documentation and still intends to submit that package at risk prior to our Planning Commission hearing some time in early-mid October.

Thank you again.



Jagger Everett
Director of Development

O: 602.600.6363
M: Privacy

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, September 22, 2021 12:10 PM
To: Jagger Everett <jaggere@creationequity.com>
Cc: Pam Steele <pams@migcom.com>; alexs@migcom.com; Grant Kingdon <grantk@creationequity.com>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Subject: RE: Banning Point
Importance: High

Good Morning Jagger,

Thank you for your email and I do apologize for any confusion on this matter.

AR 014661

COB_1322

AR011227

In hopes of clarifying the City's position, I can provide the following feedback:

- The publication deadline, for the October 6th Planning Commission has passed. Since our local paper (the Record Gazette) is the adjudicated paper of record, the City is required to public legal notices through this media source. Unfortunately, they are a weekly publication (occurring every Friday) and as such, the legal ads must be sent over by the Tuesday before, no later than 10:00am.
- During our 9:00am staff meeting yesterday, I coordinate and discussed with Lisa Edwards, making the decision to not to publish this Project for the Oct. 6th Planning Commission hearing.
- The reason for this decision is a lack of a completed CEQA document and an incomplete review of the Traffic Report.
- It was my opinion that these two items would not be complete in time to advertise the Project for public hearing. Furthermore, I did not believe that these two related items would be complete before staff reports were due and the public notice was posted (Friday, September 24th).

In closing, I'll be tracking this Project carefully and am always happy to schedule a SPECIAL meeting of the Planning Commission when and if the Project can be deemed complete prior to the November 3rd Planning Commission Meeting.

The City sincerely appreciates your patience and you're welcome to reach out to me with any questions at any time.

Thanks again and have a great week!

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Jagger Everett <jaggere@creationequity.com>
Sent: Wednesday, September 22, 2021 10:19 AM
To: Adam Rush <arush@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; alexs@migcom.com; Grant Kingdon

AR 014662

COB_1323

AR011228

[<grantk@creationequity.com>](mailto:grantk@creationequity.com)

Subject: Banning Point

Adam,

We are getting some conflicting feedback here from our project team. I understand you and Pam had a positive discussion the other day about our project being presented to the Planning Commission on October 6th. Now we are hearing we may have been pushed back to the November hearing? I know we were several weeks late to receive our 2nd DR comments. Is there any way you can step in here to help clarify, thank you.



Jagger Everett
Director of Development

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M: [Privacy](#)

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AR 014663

COB_1324

AR011229

From: Jagger Everett
Sent: Wednesday, September 22, 2021 10:19 AM PDT
To: Adam Rush
CC: Pam Steele; Alex Steele; Grant Kingdon
Subject: Banning Point
Attachments: Re Banning Point - Master Schedule.eml, Fwd Banning Point - CEQA review.eml

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AR 014664

COB_2013

AR011230

From: Pam Steele
Sent: Wednesday, September 22, 2021 9:58 AM PDT
To: Jagger Everett; Blake Wells
CC: Alex Steele
Subject: Fwd: Banning Point - CEQA review

Jagger and Blake,
Just got this news yesterday - I emailed and asked if there is a way to make the October 6 meeting - no response.
Frustrating.
Pam

----- Forwarded message -----

From: Lisa Edwards <ledwards@banningca.gov>
Date: Tue, Sep 21, 2021 at 10:24 AM
Subject: Re: Banning Point - CEQA review
To: alexs@migcom.com <alexs@migcom.com>
Cc: Pam Steele <pams@migcom.com>, Adam Rush <arush@banningca.gov>

Pam/Alex,
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Lisa,
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Alex Steele
Senior Associate Planner



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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014665

COB_2022

AR011231

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Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

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Pam

AR 014666

COB_2023

AR011232

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Lisa,

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Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

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Pam Steele

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Pam Steele

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AR 014667

COB_2024

AR011233



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AR 014668

COB_2025

AR011234

From: Brandon Robinson
Sent: Thursday, September 23, 2021 5:18 PM PDT
To: Sandra Calderon; Lisa Edwards
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: DR 21-7008 2nd Submittal_Electric Comments.pdf, image002.jpg, image003.jpg

Please see attached comments from Electric.

Brandon Robinson
Electrical Engineering Supervisor
Electric Utility
City of Banning
Direct Line: 951-922-3263
Direct Fax: 951-849-1550
brobinson@banningca.gov
PO Box 998
176 E. Lincoln Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

AR 014669

COB_2026

AR011235

Privacy

Thank you,

Sandra Calderon

Development Project Coordinator

Community Development Department

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

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AR 014670

COB_2027

AR011236

From: Sandra Calderon
Sent: Thursday, September 23, 2021 5:27 PM PDT
To: Brandon Robinson; Lisa Edwards
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.jpg, image002.jpg

Thank you Brandon!

From: Brandon Robinson <brobinson@banningca.gov>
Sent: Thursday, September 23, 2021 5:19 PM
To: Sandra Calderon <scalderon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Please see attached comments from Electric.

Brandon Robinson
Electrical Engineering Supervisor
Electric Utility
City of Banning
Direct Line: 951-922-3263
Direct Fax: 951-849-1550
brobinson@banningca.gov
PO Box 998
176 E. Lincoln Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 7, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Soriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>
Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

AR 014671

COB_2028

AR011237

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

Privacy

Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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AR 014672

COB_2029

AR011238

From: Brandon Robinson <brobinson@banningca.gov>
Sent: Thursday, September 23, 2021 5:19 PM
To: Sandra Calderon; Lisa Edwards
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: DR 21-7008 2nd Submittal_Electric Comments.pdf

Please see attached comments from Electric.

Brandon Robinson
Electrical Engineering Supervisor
Electric Utility
City of Banning
Direct Line: 951-922-3263
Direct Fax: 951-849-1550
brobinson@banningca.gov
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Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,
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Click on the link below to download documents:
<https://migcom.egnyte.com/fl/F4dOjX678V>
Password:GoQJ2knm6Hcq

Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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CITY OF BANNING

Electric Utility



September 23, 2021

RE: DR 21-7008 2nd Submittal, TPM 21-4001 & ENV 21-1510 ZONE: Sun Lakes North Specific Plan

ADDRESS / APN: NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

APPLICANT: MIG Inc./Pamela Steele

PROJECT MANAGER: Lisa Edwards

PROJECT DESCRIPTION:

Proposed Industrial warehouse building measuring 619,959 SF, which will include 10,000 SF of office space, and six (6) retail/restaurant buildings totaling 34,000 SF on 6.83 Acres.

CONDITIONS & COMMENTS:

Currently there are 4 spans of overhead electric power lines on the northern side of the proposed project site along Parcels 2 and 3. The developer will be responsible for the cost to place this line underground as well as the cost to extend the electric utility lines through the proposed project site. There is also underground infrastructure on the northwest end of the property along the northern and western borders of Parcel 2, and also on the northeast end of the property along the northern, eastern, and southern borders of Parcel 3. The developer will be responsible for protecting the infrastructure in place or relocating the facilities using an approved relocation plan.

All existing electrical infrastructure on the property will require a 10ft easement, as well as the appropriate equipment clearances as described in Banning Electric Utility standards SD600-05 & 72. The proposed location of the screen wall on the north area of the property will not provide the adequate clearance for the existing vaults along the north boundary. The location of trees/landscaping along the northern property boundary will be in direct conflict with the existing underground primary electric lines.

Please include a site utility plan that details the proposed location of service transformers and service switchgear/switchboards/electrical rooms etc.

The proposed Underground Storage System shown near the north property boundary on the Tentative Parcel Map will directly interfere with the existing overhead pole line. The UG conversion of this pole line must be routed around the storage system and adequate clearances must be maintained.

Below is a basic list of requirements needed to be accomplished for the undergrounding of electric infrastructure:

- The electric service will be a 12,470V Y primary feeder with a three-phase 277/480V pad-mounted transformer to be installed in a suitable area on the property for electric service.
- The point of connection (POC) for electric service shall be underground from utility infrastructure along the northern border of the property.

AR 014675

AR011241

- A pad-mounted switch will be required at the POC which shall be installed within the customer's property.
- The Utility will require a power quality meter to measure power quality at each service larger than 1000A.
- Any reference to the point of connection (POC) or any plans showing electric utility infrastructure other than the Banning Electric Utility plan shall not be used for job estimating or construction.
- Areas/Locations will be required for onsite electric distribution equipment such as the pad-mounted transformer, pad-mounted switchgear, vault & service equipment etc. The areas/locations must be sufficient for safe operation and maintenance of the electric equipment. The infrastructure installed shall be adequate to support safe delivery of power to this project.
- The developer will be responsible for dedicating an easement for areas of onsite electric utility infrastructure.
- The developer will be responsible for all costs of onsite/offsite electric utility infrastructure needed to supply power to this project.
- The developer is responsible for cost associated with any relocations of utility poles or supporting apparatus due to street improvements, grading or lot line adjustments that might be required.
- Please see the attached Electric Utility General Commercial Service Requirements. Please follow the attached Electric Utility General Commercial Service Requirements.
- Complete the attached Commercial New Service Requirements sheet and return it to the COB Electric Utility.

Brandon Robinson
Electrical Engineering Supervisor
City of Banning - Electric Utility
951.922.3263 Office

The City of Banning promotes and supports a high quality of life that ensures a safe and friendly environment, fosters new opportunities and provides responsive, fair treatment to all and is the pride of its citizens.

AR 014676

AR011242

From: Pam Steele
Sent: Friday, September 24, 2021 5:15 PM PDT
To: Lisa Edwards
CC: Alex Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Thank you. Lisa.

On Fri, Sep 24, 2021, 4:11 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Hi Alex/Pam,

Please see attached comments from BEU. Also, Brandon noticed that the CEQA consistency doc references SCE where it should be BEU.

From: Lisa Edwards <ledwards@banningca.gov>

Sent: Tuesday, September 21, 2021 10:24 AM

To: alexs@migcom.com <alexs@migcom.com>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Pam/Alex,

Just an update.

Art has given us a timeline of completion for VMT & TIA studies by end of next week.

At this time, we are on track for the November 3, 2021 Planning Commission meeting to hear your project.

Let me know if you have any questions.

From: Alex Steele <alexs@migcom.com>

Sent: Monday, September 20, 2021 12:04 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

AR 014677

COB_0634

AR011243

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>

Sent: Wednesday, September 15, 2021 2:58 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, September 14, 2021 4:28 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

AR 014678

COB_0635

AR011244

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (Privacy) to reach me. Thanks!



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--

Pam Steele

Principal

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AR 014679

COB_0636

AR011245

From: Lisa Edwards
Sent: Friday, September 24, 2021 4:11 PM PDT
To: alexs@migcom.com
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review
Attachments: DR 21-7008 2nd Submittal_Electric Comments.pdf

Hi Alex/Pam,

Please see attached comments from BEU. Also, Brandon noticed that the CEQA consistency doc references SCE where it should be BEU.

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To: alexs@migcom.com <alexs@migcom.com>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

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At this time, we are on track for the November 3, 2021 Planning Commission meeting to hear your project.

Let me know if you have any questions.

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Sent: Monday, September 20, 2021 12:04 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

AR 014680

COB_2030

AR011246

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 2:58 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,
Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,
Alex Steele

Senior Associate Planner



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Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Lisa,
Can you give us an update on the review of the CEQA document? and the comments from the departments?
Our team would like to review the conditions of approval from the departments as well.
Thank you for your assistance,
Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

AR 014681

COB_2031

AR011247

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

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AR 014682

COB_2032

AR011248

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Friday, September 24, 2021 4:11 PM
To: alexs@migcom.com
Cc: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review
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Pam

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Pam Steele

Principal

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Pam Steele

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CITY OF BANNING

Electric Utility



September 23, 2021

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ADDRESS / APN: NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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CONDITIONS & COMMENTS:

Currently there are 4 spans of overhead electric power lines on the northern side of the proposed project site along Parcels 2 and 3. The developer will be responsible for the cost to place this line underground as well as the cost to extend the electric utility lines through the proposed project site. There is also underground infrastructure on the northwest end of the property along the northern and western borders of Parcel 2, and also on the northeast end of the property along the northern, eastern, and southern borders of Parcel 3. The developer will be responsible for protecting the infrastructure in place or relocating the facilities using an approved relocation plan.

All existing electrical infrastructure on the property will require a 10ft easement, as well as the appropriate equipment clearances as described in Banning Electric Utility standards SD600-05 & 72. The proposed location of the screen wall on the north area of the property will not provide the adequate clearance for the existing vaults along the north boundary. The location of trees/landscaping along the northern property boundary will be in direct conflict with the existing underground primary electric lines.

Please include a site utility plan that details the proposed location of service transformers and service switchgear/switchboards/electrical rooms etc.

The proposed Underground Storage System shown near the north property boundary on the Tentative Parcel Map will directly interfere with the existing overhead pole line. The UG conversion of this pole line must be routed around the storage system and adequate clearances must be maintained.

Below is a basic list of requirements needed to be accomplished for the undergrounding of electric infrastructure:

- The electric service will be a 12,470V Y primary feeder with a three-phase 277/480V pad-mounted transformer to be installed in a suitable area on the property for electric service.
- The point of connection (POC) for electric service shall be underground from utility infrastructure along the northern border of the property.

AR 014687

AR011253

- A pad-mounted switch will be required at the POC which shall be installed within the customer's property.
- The Utility will require a power quality meter to measure power quality at each service larger than 1000A.
- Any reference to the point of connection (POC) or any plans showing electric utility infrastructure other than the Banning Electric Utility plan shall not be used for job estimating or construction.
- Areas/Locations will be required for onsite electric distribution equipment such as the pad-mounted transformer, pad-mounted switchgear, vault & service equipment etc. The areas/locations must be sufficient for safe operation and maintenance of the electric equipment. The infrastructure installed shall be adequate to support safe delivery of power to this project.
- The developer will be responsible for dedicating an easement for areas of onsite electric utility infrastructure.
- The developer will be responsible for all costs of onsite/offsite electric utility infrastructure needed to supply power to this project.
- The developer is responsible for cost associated with any relocations of utility poles or supporting apparatus due to street improvements, grading or lot line adjustments that might be required.
- Please see the attached Electric Utility General Commercial Service Requirements. Please follow the attached Electric Utility General Commercial Service Requirements.
- Complete the attached Commercial New Service Requirements sheet and return it to the COB Electric Utility.

Brandon Robinson
Electrical Engineering Supervisor
City of Banning - Electric Utility
951.922.3263 Office

The City of Banning promotes and supports a high quality of life that ensures a safe and friendly environment, fosters new opportunities and provides responsive, fair treatment to all and is the pride of its citizens.

AR 014688

AR011254

From: Pam Steele <pams@migcom.com>
Sent: Friday, September 24, 2021 5:15 PM
To: Lisa Edwards
Cc: Alex Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Thank you. Lisa.

On Fri, Sep 24, 2021, 4:11 PM Lisa Edwards <ledwards@banningca.gov> wrote:
Hi Alex/Pam,

Please see attached comments from BEU. Also, Brandon noticed that the CEQA consistency doc references SCE where it should be BEU.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 21, 2021 10:24 AM
To: alexs@migcom.com <alexs@migcom.com>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Pam/Alex,

Just an update.

Art has given us a timeline of completion for VMT & TIA studies by end of next week.

At this time, we are on track for the November 3, 2021 Planning Commission meeting to hear your project.

Let me know if you have any questions.

From: Alex Steele <alexs@migcom.com>
Sent: Monday, September 20, 2021 12:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:
See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 2:58 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:
Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



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Pam Steele

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REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Charlene So, Urban Crossroads
Kevin Sin, City of Banning

FROM: Peter Kim, PE, TE, *ERSC/PMK*

DATE: September 27, 2021

SUBJECT: CITY OF BANNING – BANNING POINT (TPM 38164) – TRIP GENERATION ASSESSMENT - PC1 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

General

1. Please provide the approved SPA No. 5 traffic study as a reference.
2. Provide the latest project site plan as a reference.
3. Provide an engineer stamp and a signature on the study.

Page 3

1. Project Access: Provide peak hour traffic volumes and lane configurations at each project driveway for both SPA No. 5 traffic study and for the proposed project conditions. Also, identify the proposed traffic control at each project driveway intersection.

Exhibit 1: Preliminary Site Plan

1. It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.
2. The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

Contact me at peterkimpmk@gmail.com or (949) 466-3126 for any questions.



REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Alex So, Urban Crossroads
Kevin Sin, City of Banning

FROM: Peter Kim, PE, TE, *ERSC/PMK*

DATE: September 27, 2021

SUBJECT: CITY OF BANNING – BANNING POINT (TPM 38164) – VEHICLE MILES TRAVELED (VMT) ANALYSIS - PC1 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

General

1. Please provide the approved SPA No. 5 traffic study as a reference.
2. Provide the latest project site plan as a reference.
3. Provide an engineer stamp and a signature on the study.

VMT Analysis

1. Page1, Background: Reference City Guidelines Dated September 2021 on the report.
2. Page2, Project Screening: List all screening criteria as listed in the City Guidelines Section 5.1.1. If any of screening type does not apply, indicate “NOT APPLICABLE” to each type.
3. Page 2, TPA Screening: Remove “does” on the last sentence of the TPA Screening section.
4. Page 3, Local Serving Retail Screening: Indicate the proposed project retail square feet on the report.
5. Page 3, Project Trip Screening: Indicate the project generated daily vehicle trips on the report.
6. Page 4, Project VMT Assessment, Table 1: Indicate “619,959 sf” in the table.
7. Page 4, Project VMT Calculation, Table 2: Provide a detail calculation and backup data showing how 8582 VMT is arrived.

Contact me at peterkimpmk@gmail.com or (949) 466-3126 for any questions.

From: ShareFile Notifications (No Reply)
Sent: Monday, September 27, 2021 10:41 AM PDT
To: avela@banningca.gov
Subject: ShareFile Activity Notification



Notification Summary

Below is a summary of upload and download activity on folders for which you've chosen to be notified.

Uploads

18014001 - City of Banning Plan Check > 165 - SUN LAKES BLVD & SUN LAKES VILLAGE > TRAFFIC IMPACT ANALYSIS

Name: Appdx C_VMT Memo UC 6-10-21.pdf

Size: 1.05 MB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 VMT Analysis PC1 Memo (pk).pdf

Size: 211.26 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Appdx B_Trip Gen Memo UC 6-10-21.pdf

Size: 628.83 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).pdf

Size: 210.64 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).docx

Size: 44.86 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 VMT Analysis PC1 Memo (pk).docx

Size: 45.21 KB • **Created:** 9/27/21 1:41p

AR 014693

COB_0070

AR011261

Creator: S. Slaten

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AR 014694

COB_0071

AR011262

From: ShareFile Notifications (No Reply)
Sent: Monday, September 27, 2021 10:41 AM PDT
To: lcardenas@banningca.gov
Subject: ShareFile Activity Notification



Notification Summary

Below is a summary of upload and download activity on folders for which you've chosen to be notified.

Uploads

18014001 - City of Banning Plan Check > 165 - SUN LAKES BLVD & SUN LAKES VILLAGE > TRAFFIC IMPACT ANALYSIS

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Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).docx

Size: 44.86 KB • **Created:** 9/27/21 1:41p

AR 014695

COB_0072

AR011263

Creator: S. Slaten

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Downloads

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Views

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AR 014696

COB_0073

AR011264

From: ShareFile Notifications (No Reply)
Sent: Monday, September 27, 2021 10:41 AM PDT
To: pgerdes@banningca.gov
Subject: ShareFile Activity Notification



Notification Summary

Below is a summary of upload and download activity on folders for which you've chosen to be notified.

Uploads

18014001 - City of Banning Plan Check > 165 - SUN LAKES BLVD & SUN LAKES VILLAGE > TRAFFIC IMPACT ANALYSIS

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Size: 1.05 MB • **Created:** 9/27/21 1:41p

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COB_0074

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There is no view activity to report.

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AR 014698

COB_0075

AR011266

From: Lisa Edwards
Sent: Monday, September 27, 2021 3:32 PM PDT
To: Emery Papp
Subject: DR 21-7008 (Banning Point) - EIR consistency doc

Hi Emery,

I was checking to see if you were able to help me dissect this EIR consistency doc for the Banning Point project I am working on (DR 21-7008). Any comments would be appreciated. They are proposing 620k sq. ft. industrial and 34k sq. ft. retail within the Sun Lakes Village North Specific Plan. But it's 100 pages long!

 [20210819_13714_LGE Design Build Draft Consistency Analysis_to Applicant.docx](#)

If you aren't able to find the time, I understand. I was hoping to get back to them by end of week...and know that you have a strong environmental background. ☐

If you are able to help, please feel free to make notes in the SharePoint version of this doc (see link).

Thanks so much!

Lisa Edwards

Contract Planner
Community Development Department
Planning Division
City of Banning
99 E. Ramsey Street
Banning, CA 92220
Office: (951) 663-1732
Email: ledwards@banningca.gov
Website: www.banningca.gov



AR 014699

COB_0076

AR011267

AR 014700
COB_0077

Thank you

Thank you for providing comments on our most recent DR submittal for the Banning Point project. Are you available during this week to discuss a few of the items in this response letter? We are intending to submit our 1st Civil CD package next week and want to make sure we are appropriately addressing any concerns. I am available any time tomorrow or Wednesday morning if that works for you.

Brandon,

From: Jagger Everett
Sent: Monday, September 27, 2021 3:55 PM
To: Brandon Robinson <br Robinson@banningca.gov>
Cc: Jeff Potter <jeff@thieneseeng.com>; Alex Steele <alexs@mig.com.com>; Pam Steele <pams@mig.com.com>; Gene Plum <genep@lgedesignbuild.com>; Grant Kingdon <grantk@creationequity.com>; Sha Liu Mahoney <sha@hparchs.com>; Blake Wells <BlakeW@lgedesignbuild.com>
Subject: Banning Point Electrical Comments

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1200 N. 52nd St., Phoenix, AZ 85008

jaggere@creationequity.com
www.creationequity.com

O: 602.600.6363
M: 602.769.6013

Jagger Everett
Director of Development



My apologies, looping in the Gregg Electric team as well.

From: Jagger Everett
Sent: Monday, September 27, 2021 4:24 PM PDT
To: Brandon Robinson
CC: Jeff Potter; Alex Steele; John Gaglio; Pam Steele; Gene Plum; Grant Kingdon; Sha Liu Mahoney; Blake Wells;
Subject: RE: Banning Point Electrical Comments
glenn@greggelectric.com

From: Pam Steele
Sent: Monday, September 27, 2021 2:50 PM PDT
To: Lisa Edwards
CC: alexs@migcom.com; Adam Rush
Subject: Re: Banning Point - CEQA review

Lisa,

Touching base on your comment bullets 1 and 4 - Building comments (conditions?) and EIR Consistency doc. We received the BEU comments and, thank you for your review of the GHG/AQ study.

Also - do you (Planning) have any more comments on the Site Plan submittal?

Thanks for your help,

Pam

On Mon, Sep 20, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:
Hi Alex,

- Patrick (B&S) will return to the office 9/22 and is aware that we are eager for his sign off. I assume he will just need to check ADA, etc. I don't foresee his items causing any delay in the hearing date.
- Brandon (BEU) mostly has COAs, but have sent him an email to confirm he has no further comments.
- I have reviewed the GHG/Air Quality study and am comfortable with the findings.
- I am still sifting through the 99-page EIR consistency doc. I hope to complete my review in the next few days.

Again, thanks for your patience and feel free to reach out if you need any other assistance.

From: Alex Steele <alexs@migcom.com>
Sent: Monday, September 20, 2021 12:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,
Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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AR 014701

COB_0637

AR011269

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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>

Sent: Wednesday, September 15, 2021 2:58 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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[2021-08-05-Preliminary Hydrology](#)



[18014001-165_Banning47-Prelim H](#)



[18014001-165_Banning47-Prelim H](#)

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, September 14, 2021 4:28 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

AR 014702

COB_0638

AR011270

Can you give us an update on the review of the CEQA document? and the comments from the departments?
Our team would like to review the conditions of approval from the departments as well.
Thank you for your assistance,
Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,
Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.
Please let us know.
Thank you!
Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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Pam Steele

Principal

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COB_0639

AR011271

Pam Steele

Principal

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AR 014704

COB_0640

AR011272

From: Lisa Edwards
Sent: Monday, September 27, 2021 3:17 PM PDT
To: Patrick Johnson
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Patrick,

Hope your weekend was wonderful. The applicant for this one is curious to know if they adequately responded to your initial comments (i.e. ADA reqs). Or if you require additional time...?

Thanks for any update you may have!

From: Patrick Johnson <pjohnson@willdan.com>

Sent: Wednesday, September 15, 2021 3:05 PM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at (909) 838-1005 ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

AR 014705

COB_0641

AR011273

From: Jagger Everett
Sent: Monday, September 27, 2021 3:54 PM PDT
To: Brandon Robinson
CC: Jeff Potter; Alex Steele; Pam Steele; Gene Plum; Grant Kingdon; Sha Liu Mahoney; Blake Wells
Subject: Banning Point Electrical Comments
Attachments: DR 21-7008 2nd Submittal_Electric Comments.pdf

Brandon,

Thank you for providing comments on our most recent DR submittal for the Banning Point project. Are you available during this week to discuss a few of the items in this response letter? We are intending to submit our 1st Civil CD package next week and want to make sure we are appropriately addressing any concerns. I am available any time tomorrow or Wednesday morning if that works for you.

Thank you



Jagger Everett
Director of Development

O: 602.600.6363

M: 602.769.6013

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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AR 014706

COB_0642

AR011274

CITY OF BANNING

Electric Utility



September 23, 2021

RE: DR 21-7008 2nd Submittal, TPM 21-4001 & ENV 21-1510 ZONE: Sun Lakes North Specific Plan

ADDRESS / APN: NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

APPLICANT: MIG Inc./Pamela Steele

PROJECT MANAGER: Lisa Edwards

PROJECT DESCRIPTION:

Proposed Industrial warehouse building measuring 619,959 SF, which will include 10,000 SF of office space, and six (6) retail/restaurant buildings totaling 34,000 SF on 6.83 Acres.

CONDITIONS & COMMENTS:

Currently there are 4 spans of overhead electric power lines on the northern side of the proposed project site along Parcels 2 and 3. The developer will be responsible for the cost to place this line underground as well as the cost to extend the electric utility lines through the proposed project site. There is also underground infrastructure on the northwest end of the property along the northern and western borders of Parcel 2, and also on the northeast end of the property along the northern, eastern, and southern borders of Parcel 3. The developer will be responsible for protecting the infrastructure in place or relocating the facilities using an approved relocation plan.

All existing electrical infrastructure on the property will require a 10ft easement, as well as the appropriate equipment clearances as described in Banning Electric Utility standards SD600-05 & 72. The proposed location of the screen wall on the north area of the property will not provide the adequate clearance for the existing vaults along the north boundary. The location of trees/landscaping along the northern property boundary will be in direct conflict with the existing underground primary electric lines.

Please include a site utility plan that details the proposed location of service transformers and service switchgear/switchboards/electrical rooms etc.

The proposed Underground Storage System shown near the north property boundary on the Tentative Parcel Map will directly interfere with the existing overhead pole line. The UG conversion of this pole line must be routed around the storage system and adequate clearances must be maintained.

Below is a basic list of requirements needed to be accomplished for the undergrounding of electric infrastructure:

- The electric service will be a 12,470V Y primary feeder with a three-phase 277/480V pad-mounted transformer to be installed in a suitable area on the property for electric service.
- The point of connection (POC) for electric service shall be underground from utility infrastructure along the northern border of the property.

AR 014707

COB_0643

AR011275

- A pad-mounted switch will be required at the POC which shall be installed within the customer's property.
- The Utility will require a power quality meter to measure power quality at each service larger than 1000A.
- Any reference to the point of connection (POC) or any plans showing electric utility infrastructure other than the Banning Electric Utility plan shall not be used for job estimating or construction.
- Areas/Locations will be required for onsite electric distribution equipment such as the pad-mounted transformer, pad-mounted switchgear, vault & service equipment etc. The areas/locations must be sufficient for safe operation and maintenance of the electric equipment. The infrastructure installed shall be adequate to support safe delivery of power to this project.
- The developer will be responsible for dedicating an easement for areas of onsite electric utility infrastructure.
- The developer will be responsible for all costs of onsite/offsite electric utility infrastructure needed to supply power to this project.
- The developer is responsible for cost associated with any relocations of utility poles or supporting apparatus due to street improvements, grading or lot line adjustments that might be required.
- Please see the attached Electric Utility General Commercial Service Requirements. Please follow the attached Electric Utility General Commercial Service Requirements.
- Complete the attached Commercial New Service Requirements sheet and return it to the COB Electric Utility.

Brandon Robinson
Electrical Engineering Supervisor
City of Banning - Electric Utility
951.922.3263 Office

The City of Banning promotes and supports a high quality of life that ensures a safe and friendly environment, fosters new opportunities and provides responsive, fair treatment to all and is the pride of its citizens.

AR 014708

COB_0644

AR011276

From: Brandon Robinson
Sent: Monday, September 27, 2021 4:26 PM PDT
To: Jagger Everett
CC: Jeff Potter; alexs@migcom.com; John Gaglio; Pam Steele; Gene Plum; Grant Kingdon; Sha Liu Mahoney; Blake Wells; glennt@greggelectric.com
Subject: Re: Banning Point Electrical Comments

Hey Jagger,
The opening that I have is for Wednesday. Can you update the meeting invite? Thanks.

Sent from my iPhone

On Sep 27, 2021, at 4:24 PM, Jagger Everett <jaggere@creationequity.com> wrote:

My apologies, looping in the Gregg Electric team as well.



Jagger Everett
Director of Development

O: 602.600.6363
M: 602.769.6013

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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From: Jagger Everett
Sent: Monday, September 27, 2021 3:55 PM
To: Brandon Robinson <brobenson@banningca.gov>
Cc: Jeff Potter <Jeff@thieneseng.com>; Alex Steele <alexs@migcom.com>; Pam Steele <pams@migcom.com>; Gene Plum <genep@lgedesignbuild.com>; Grant Kingdon <grantk@creationequity.com>; Sha Liu Mahoney <sha@hparchs.com>; Blake Wells <BlakeW@lgedesignbuild.com>
Subject: Banning Point Electrical Comments

Brandon,

AR 014709

COB_0645

AR011277

Thank you for providing comments on our most recent DR submittal for the Banning Point project. Are you available during this week to discuss a few of the items in this response letter? We are intending to submit our 1st Civil CD package next week and want to make sure we are appropriately addressing any concerns. I am available any time tomorrow or Wednesday morning if that works for you.

Thank you

AR 014710

COB_0646

AR011278

From: Brandon Robinson
Sent: Monday, September 27, 2021 11:01 PM PDT
To: 'Jagger Everett'
Subject: Accepted: Banning Point - Electrical Line Discussion

AR 014711

COB_0647

AR011279

From: ShareFile Notifications (No Reply)
Sent: Monday, September 27, 2021 10:41 AM PDT
To: jthompson@banningca.gov
Subject: ShareFile Activity Notification



Notification Summary

Below is a summary of upload and download activity on folders for which you've chosen to be notified.

Uploads

18014001 - City of Banning Plan Check > 165 - SUN LAKES BLVD & SUN LAKES VILLAGE > TRAFFIC IMPACT ANALYSIS

Name: Appdx C_VMT Memo UC 6-10-21.pdf

Size: 1.05 MB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Appdx B_Trip Gen Memo UC 6-10-21.pdf

Size: 628.83 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 VMT Analysis PC1 Memo (pk).pdf

Size: 211.26 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 VMT Analysis PC1 Memo (pk).docx

Size: 45.21 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).pdf

Size: 210.64 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).docx

Size: 44.86 KB • **Created:** 9/27/21 1:41p

AR 014712

COB_1325

AR011280

Creator: S. Slaten

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Downloads

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Dates are displayed in UTC -5

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AR 014713

COB_1326

AR011281

From: ShareFile Notifications (No Reply)
Sent: Monday, September 27, 2021 10:41 AM PDT
To: ksin@banningca.gov
Subject: ShareFile Activity Notification



Notification Summary

Below is a summary of upload and download activity on folders for which you've chosen to be notified.

Uploads

18014001 - City of Banning Plan Check > 165 - SUN LAKES BLVD & SUN LAKES VILLAGE > TRAFFIC IMPACT ANALYSIS

Name: Appdx C_VMT Memo UC 6-10-21.pdf

Size: 1.05 MB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Appdx B_Trip Gen Memo UC 6-10-21.pdf

Size: 628.83 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).pdf

Size: 210.64 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 VMT Analysis PC1 Memo (pk).pdf

Size: 211.26 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).docx

Size: 44.86 KB • **Created:** 9/27/21 1:41p

Creator: S. Slaten

Name: Banning Point TPM38164 VMT Analysis PC1 Memo (pk).docx

Size: 45.21 KB • **Created:** 9/27/21 1:41p

AR 014714

COB_1327

AR011282

Creator: S. Slaten

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Views

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Dates are displayed in UTC -5

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AR 014715

COB_1328

AR011283

From: Sandra Calderon
Sent: Monday, September 27, 2021 12:32 PM PDT
To: Kevin Sin; Lisa Edwards
CC: Joshua Monzon
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: image001.png, image002.jpg

Received.

Thank you,
Sandra

From: Kevin Sin <ksin@banningca.gov>
Sent: Monday, September 27, 2021 11:54 AM
To: Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Lisa, Sandra,

Please find the 1st review comments of the subject TIA memos via the link below.

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLAGE - TRAFFIC IMPACT ANALYSIS - PC1](#)

Let me know if you have any questions.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 2:06 PM
To: Kevin Sin <ksin@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

AR 014716

COB_1329

AR011284

Ok. Sounds good. I have directed the applicant to coordinate with Engineering regarding fees. They are not happy about having to pay more fees, but nobody does. ☐

They are also hopeful to get a quick turnaround as they would like to make the November Planning Commission meeting. Thanks so much!

From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, September 15, 2021 10:57 AM
To: Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Lisa,

Yes, we can review the two traffic related memos but not the air quality memo. If the applicant submitted these two traffic related memos and requested the City for review and approval then there's a plan check fee of \$2,800 payable to the City of Banning is needed.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Wednesday, September 15, 2021 10:43 AM
To: Kevin Sin <ksin@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>
Cc: Joshua Monzon <jmonzon@banningca.gov>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Kevin,

Is Engineering able to review the attached studies as well?

Thanks so much!

AR 014717

COB_1330

AR011285

From: Kevin Sin <ksin@banningca.gov>
Sent: Tuesday, September 14, 2021 4:59 PM
To: Sandra Calderon <scalderon@banningca.gov>
Cc: Lisa Edwards <ledwards@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Sandra,

Please find the 2nd review comments of the subject development via the link below and also attached.

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLAGE - PWQMP - PC2](#)

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLAGE - TENTATIVE PARCEL MAP - PC2](#)

[DOWNLOAD: 18014001/165 - SUN LAKES BLVD & SUN LAKES VILLAGE - CONCEPTUAL GRADING PLAN - PC2](#)

Let me know if you have any questions.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
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www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Tuesday, September 07, 2021 3:23 PM
To: Adam Rush <arush@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; James Wurtz <jwurtz@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Cc: Arturo Vela <avela@banningca.gov>; Art Chacon <achacon@banningca.gov>; Debbie Shubin <dshubin@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Silvia Tapia <stapia@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Cherie

AR 014718

COB_1331

AR011286

Johnson <cjohnson@banningca.gov>; Diana Serrano <dserrano@banningca.gov>; Victor Jasso <vjasso@banningca.gov>; Richard Sciriano <rsoriano@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 2nd Submittal and provide your comments and/or conditions to the Planning Division by Tuesday, September 14, 2021.

Click on the link below to download documents:

Privacy

Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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AR 014719

COB_1332

AR011287

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From: Jagger Everett
Sent: Monday, September 27, 2021 4:18 PM PDT
To: Jeff Potter; alexs@migcom.com; Pam Steele; Gene Plum; Grant Kingdon; Sha Liu Mahoney; Blake Wells; Brandon Robinson
Subject: Banning Point - Electrical Line Discussion

Creation is inviting you to a scheduled Zoom meeting.

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AR 014720

COB_1333

AR011288

From: Jagger Everett
Sent: Monday, September 27, 2021 4:27 PM PDT
To: Jeff Potter; alexs@migcom.com; Pam Steele; Gene Plum; Grant Kingdon; Sha Liu Mahoney; Blake Wells; Brandon Robinson
CC: John Gaglio; Jeff Mensen
Subject: Banning Point - Electrical Line Discussion

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AR 014721

COB_1334

AR011289

From: Alex Steele
Sent: Monday, September 27, 2021 9:49 AM PDT
To: Lisa Edwards
CC: Pam Steele; Adam Rush
Subject: Re: Banning Point - CEQA review

Lisa,

Thank you, I forwarded these to the team. Have you heard anything from Building on their comments/conditions yet?

Alex Steele

Senior Associate Planner



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On Fri, Sep 24, 2021 at 4:11 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Hi Alex/Pam,

Please see attached comments from BEU. Also, Brandon noticed that the CEQA consistency doc references SCE where it should be BEU.

From: Lisa Edwards <ledwards@banningca.gov>

Sent: Tuesday, September 21, 2021 10:24 AM

To: alexs@migcom.com <alexs@migcom.com>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Pam/Alex,

Just an update.

Art has given us a timeline of completion for VMT & TIA studies by end of next week.

At this time, we are on track for the November 3, 2021 Planning Commission meeting to hear your project.

Let me know if you have any questions.

From: Alex Steele <alexs@migcom.com>

Sent: Monday, September 20, 2021 12:04 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

AR 014722

COB_2033

AR011290

Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>

Sent: Wednesday, September 15, 2021 2:58 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)

AR 014723

COB_2034

AR011291



18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf

Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, September 14, 2021 4:28 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



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Riverside, California 92507 | USA

office: 951-787-9222 extension: 8360, cell: Privacy

pams@migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone Privacy to reach me. Thanks!

AR 014724

COB_2035

AR011292



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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014725

COB_2036

AR011293

From: Lisa Edwards
Sent: Monday, September 27, 2021 3:20 PM PDT
To: Pam Steele
CC: alexs@migcom.com; Adam Rush
Subject: Re: Banning Point - CEQA review
Attachments: Appdx B_Trip Gen Memo UC 6-10-21.pdf, Appdx C_VMT Memo UC 6-10-21.pdf, Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).docx, Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).pdf, Banning Point TPM38164 VMT Analysis PC1 Memo (pk).docx, Banning Point TPM38164 VMT Analysis PC1 Memo (pk).pdf

Hi Pam,
Please see attached 1st round TIA comments.
I also sent another nudge to B&S as our BO return from vacation last week and I'm sure he is catching up on quite a bit.
And I should be able to complete the EIR consistency review by this week.
Thanks again for your continued patience...

From: Pam Steele <pams@migcom.com>
Sent: Monday, September 27, 2021 2:50 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: alexs@migcom.com <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,
Touching base on your comment bullets 1 and 4 - Building comments (conditions?) and EIR Consistency doc. We received the BEU comments and, thank you for your review of the GHG/AQ study.
Also - do you (Planning) have any more comments on the Site Plan submittal?
Thanks for your help,
Pam

On Mon, Sep 20, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:
Hi Alex,

- Patrick (B&S) will return to the office 9/22 and is aware that we are eager for his sign off. I assume he will just need to check ADA, etc. I don't foresee his items causing any delay in the hearing date.
- Brandon (BEU) mostly has COAs, but have sent him an email to confirm he has no further comments.
- I have reviewed the GHG/Air Quality study and am comfortable with the findings.
- I am still sifting through the 99-page EIR consistency doc. I hope to complete my review in the next few days.

Again, thanks for your patience and feel free to reach out if you need any other assistance.

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Sent: Monday, September 20, 2021 12:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

AR 014726

COB_2037

AR011294

Lisa,
Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

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[2021-08-05-Preliminary Hydrology Report.pdf](#)

AR 014727

COB_2038

AR011295



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)

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Also, see attached Site Plan redlines.

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Subject: Re: Banning Point - CEQA review

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Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

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for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

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Pam Steele

Principal

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my cell phone [Privacy] to reach me. Thanks!*



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AR 014728

COB_2039

AR011296



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AR 014729

COB_2040

AR011297

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:21 PM
To: Pam Steele
Cc: alexs@migcom.com; Adam Rush
Subject: Re: Banning Point - CEQA review
Attachments: Appdx B_Trip Gen Memo UC 6-10-21.pdf; Appdx C_VMT Memo UC 6-10-21.pdf; Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).docx; Banning Point TPM38164 Trip Gen Assessment PC1 Memo (pk).pdf; Banning Point TPM38164 VMT Analysis PC1 Memo (pk).docx; Banning Point TPM38164 VMT Analysis PC1 Memo (pk).pdf

Hi Pam,

Please see attached 1st round TIA comments.

I also sent another nudge to B&S as our BO return from vacation last week and I'm sure he is catching up on quite a bit.

And I should be able to complete the EIR consistency review by this week.

Thanks again for your continued patience...

From: Pam Steele <pams@migcom.com>
Sent: Monday, September 27, 2021 2:50 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: alexs@migcom.com <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Touching base on your comment bullets 1 and 4 - Building comments (conditions?) and EIR Consistency doc. We received the BEU comments and, thank you for your review of the GHG/AQ study.

Also - do you (Planning) have any more comments on the Site Plan submittal?

Thanks for your help,

Pam

On Mon, Sep 20, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:
Hi Alex,

- Patrick (B&S) will return to the office 9/22 and is aware that we are eager for his sign off. I assume he will just need to check ADA, etc. I don't foresee his items causing any delay in the hearing date.
- Brandon (BEU) mostly has COAs, but have sent him an email to confirm he has no further comments.
- I have reviewed the GHG/Air Quality study and am comfortable with the findings.

- I am still sifting through the 99-page EIR consistency doc. I hope to complete my review in the next few days.

Again, thanks for your patience and feel free to reach out if you need any other assistance.

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Please let us know.

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REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Alex So, Urban Crossroads
Kevin Sin, City of Banning

FROM: Peter Kim, PE, TE, *ERSC/PMK*

DATE: September 27, 2021

SUBJECT: CITY OF BANNING – BANNING POINT (TPM 38164) – VEHICLE MILES TRAVELED (VMT) ANALYSIS - PC1 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

General

1. Please provide the approved SPA No. 5 traffic study as a reference.
2. Provide the latest project site plan as a reference.
3. Provide an engineer stamp and a signature on the study.

VMT Analysis

1. Page1, Background: Reference City Guidelines Dated September 2021 on the report.
2. Page2, Project Screening: List all screening criteria as listed in the City Guidelines Section 5.1.1. If any of screening type does not apply, indicate "NOT APPLICABLE" to each type.
3. Page 2, TPA Screening: Remove "does" on the last sentence of the TPA Screening section.
4. Page 3, Local Serving Retail Screening: Indicate the proposed project retail square feet on the report.
5. Page 3, Project Trip Screening: Indicate the project generated daily vehicle trips on the report.
6. Page 4, Project VMT Assessment, Table 1: Indicate "619,959 sf" in the table.
7. Page 4, Project VMT Calculation, Table 2: Provide a detail calculation and backup data showing how 8582 VMT is arrived.

Contact me at peterkimpmk@gmail.com or (949) 466-3126 for any questions.



REDLANDS | TEMECULA | PALM DESERT

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MEMORANDUM

TO: Charlene So, Urban Crossroads
Kevin Sin, City of Banning

FROM: Peter Kim, PE, TE, *ERSC/PMK*

DATE: September 27, 2021

SUBJECT: CITY OF BANNING – BANNING POINT (TPM 38164) – TRIP GENERATION ASSESSMENT - PC1 MEMO

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3. Provide an engineer stamp and a signature on the study.

Page 3

1. Project Access: Provide peak hour traffic volumes and lane configurations at each project driveway for both SPA No. 5 traffic study and for the proposed project conditions. Also, identify the proposed traffic control at each project driveway intersection.

Exhibit 1: Preliminary Site Plan

1. It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.
2. The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

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June 10, 2021

Mr. Adam Rush
City of Banning Public Works
99 E. Ramsey Street
Banning, CA 92220

SUBJECT: BANNING POINT (TPM 38164) TRIP GENERATION ASSESSMENT

Dear Mr. Adam Rush:

Urban Crossroads, Inc. is pleased to provide the following Trip Generation Assessment for Banning Point development (Project) which is located on the northeast corner of Sun Lake Village Drive and Sun Lake Boulevard in the City of Banning (see Exhibit 1 for preliminary site plan). The purpose of this trip generation evaluation is to determine whether additional traffic operations analysis is needed based on a comparison of the proposed Project trip generation and that evaluated for the currently approved project as evaluated in the Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020, referred to as **SPA No. 5 Traffic Study**).

CURRENTLY APPROVED TRIP GENERATION

The SPA No. 5 Traffic Study evaluated the development of 877,298 square feet of industrial park use and 37,189 square feet of commercial retail use within the area bounded by the proposed Project. There was also 52,065 square feet of medical office use evaluated in the SPA No. 5 Traffic Study, however, this portion of the Specific Plan lies outside of the proposed Project boundary. As such, only the industrial park and commercial retail uses have been contemplated for the purposes of this trip generation assessment. The trip generation summary for the currently approved Project uses is shown on Table 1. As shown on Table 1, the currently approved uses were anticipated to generate 3,844 two-way trips per day, with 375 trips during the AM peak hour and 445 trips during the PM peak hour. In passenger car equivalents (PCE), the currently approved uses were anticipated to generate 4,530 two-way PCE trips per day with 440 AM PCE peak hour trips and 498 PM PCE peak hour trips.

Mr. Adam Rush
City of Banning Public Works
June 10, 2021
Page 2 of 7

TABLE 1: CURRENTLY APPROVED TRIP GENERATION SUMMARY

Land Use	Quantity Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Trip Generation Summary (Actual Vehicles):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		6	1	7	1	5	6	74
3-axle Trucks:		7	2	9	2	6	8	92
4+-axle Trucks:		21	5	26	5	17	22	278
Total Trucks:		34	8	42	8	28	36	444
Industrial Park Subtotal		284	67	351	74	278	352	2,958
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-43	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (Actual Vehicles) ²		299	76	375	116	329	445	3,844
Trip Generation Summary (PCE):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		9	2	11	2	7	9	112
3-axle Trucks:		14	3	17	3	11	14	184
4+-axle Trucks:		64	15	79	14	52	66	834
Total Trucks (PCE):		87	20	107	19	70	89	1,130
Industrial Park Subtotal		337	79	416	85	320	405	3,644
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-42	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (PCE) ²		352	88	440	127	371	498	4,530

Source: Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020).

¹ TSF = thousand square feet

² Total Trips = Passenger Cars + Truck Trips.

PROPOSED PROJECT TRIP GENERATION

The Project is proposed to consist of 464,969 square feet of high-cube fulfillment center warehouse use (75% of the industrial use), 154,990 square feet of high-cube cold storage warehouse use (25% of the industrial use), 16,200 square feet of fast-food restaurant without drive-through window use, 1,600 square feet of coffee-donut shop with drive-through window use, and 16,200 square feet of shopping center use. Consistent with the SPA No. 5 Traffic Study, the industrial uses are proposed on the northern end of the site with the commercial retail uses fronting Sun Lakes Boulevard to the south. The proposed

Mr. Adam Rush
 City of Banning Public Works
 June 10, 2021
 Page 3 of 7

access to the site is also consistent with the SPA No. 5 Traffic Study, with access points proposed along Sun Lakes Village Drive and two driveways along Sun Lakes Boulevard to the east. The westerly driveway on Sun Lakes Boulevard into the commercial retail area is proposed to have full access, aligning with the existing Country Club Drive and the easterly driveway on Sun Lakes Boulevard will be restricted to right-in/right-out access only (to be controlled by the existing raised median).

Trip generation for the proposed Project land uses is based upon information collected by the Institute of Transportation Engineers (ITE) as provided in their Trip Generation Manual (10th Edition, 2017), the ITE Trip Generation Handbook (3rd Edition, 2017), the South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Generation Data Results and Usage (2014), and the High-Cube Warehouse Trip Generation Study (WSP, January 29, 2019). The trip generation rates for the proposed Project are provided on Table 2.

TABLE 2: TRIP GENERATION RATES

Land Use ¹	Units ²	ITE LU Code	AM Peak Hour			PM Peak Hour			Daily
			In	Out	Total	In	Out	Total	
Actual Vehicle Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks			0.006	0.002	0.008	0.003	0.008	0.011	0.162
5+-Axle Trucks			0.008	0.003	0.011	0.003	0.007	0.010	0.217
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks			0.008	0.002	0.010	0.003	0.007	0.010	0.257
3-Axle Trucks			0.003	0.001	0.003	0.001	0.002	0.003	0.082
4+-Axle Trucks			0.012	0.004	0.016	0.004	0.011	0.015	0.403
Fast Food without Drive Thru	TSF	933	15.060	10.040	25.100	14.170	14.170	28.340	346.230
Coffee/Donut Shop with Drive Thru	TSF	937	45.385	43.605	88.990	21.690	21.690	43.380	820.380
Shopping Center	TSF	820	0.583	0.357	0.940	1.829	1.981	3.810	37.750
Passenger Car Equivalent (PCE) Trip Generation Rates:									
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Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks (PCE = 2.0)			0.012	0.004	0.016	0.006	0.016	0.022	0.324
5+-Axle Trucks (PCE = 3.0)			0.025	0.008	0.033	0.008	0.022	0.030	0.651
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks (PCE = 1.5)			0.012	0.004	0.015	0.004	0.010	0.014	0.386
3-Axle Trucks (PCE = 2.0)			0.005	0.002	0.007	0.002	0.004	0.006	0.163
4+-Axle Trucks (PCE = 3.0)			0.037	0.011	0.048	0.012	0.033	0.045	1.209

¹ Trip Generation Source: Institute of Transportation Engineers (ITE), Trip Generation Manual, Tenth Edition (2017).

² TSF = thousand square feet

³ Vehicle Mix Source: High Cube Warehouse Trip Generation Study, WSP, January 29, 2019.

Inbound and outbound split source: High Cube Warehouse Vehicle Trip Generation Analysis, October 2016, ITE.

⁴ Vehicle Mix Source: ITE Trip Generation Handbook Supplement (2020), Appendix C.

Truck Mix Source: South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Study Data Results and Usage (2014).

Normalized % - With Cold Storage: 34.7% 2-Axle trucks, 11.0% 3-Axle trucks, 54.3% 4-Axle trucks.

Mr. Adam Rush
City of Banning Public Works
June 10, 2021
Page 4 of 7

As shown on Table 3, the proposed Project is anticipated to generate 4,238 two-way trips per day, with 317 trips generated during the AM peak hour and 337 trips generated during the PM peak hour (in actual vehicles).

TABLE 3: PROPOSED PROJECT TRIP GENERATION SUMMARY (ACTUAL VEHICLES)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		3	1	4	1	4	5	76
5+ axle Trucks:		4	1	5	1	3	4	102
Total Truck:		7	2	9	2	7	9	178
Fulfillment Center Warehouse (Actual Vehicles)		37	3	40	15	52	67	938
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		1	0	1	0	1	1	40
3-axle Trucks:		0	0	0	0	0	0	14
4+ axle Trucks:		2	1	3	1	2	3	62
Total Truck:		3	1	4	1	3	4	116
High-Cube Cold Storage Warehouse (Actual Vehicles)		11	2	13	3	12	16	312
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Industrial Total (Actual Vehicles)		48	5	53	18	64	83	1,250
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Project Total (Actual Vehicles)		223	95	317	147	191	337	4,238

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

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As shown on Table 4, the proposed Project is anticipated to generate 4,674 two-way PCE trips per day, with 340 AM PCE peak hour trips and 359 PM PCE peak hour trips.

TABLE 4: PROPOSED PROJECT TRIP GENERATION SUMMARY (PCE)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		6	2	8	3	7	10	152
5+axle Trucks:		12	4	16	4	10	14	304
Total Truck:		18	6	24	7	17	24	456
Fulfillment Center Warehouse (PCE)		48	7	55	20	62	82	1,216
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		2	1	3	1	2	3	60
3-axle Trucks:		1	0	1	0	1	1	26
4+axle Trucks:		6	2	8	2	5	7	188
Total Truck:		9	3	12	3	8	11	274
High-Cube Cold Storage Warehouse (PCE)		17	4	21	5	17	23	470
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (PCE)		27	9	36	10	25	35	730
Industrial Total (PCE)		65	11	76	25	79	105	1,686
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		27	9	36	10	25	35	730
Project Total (PCE)		240	101	340	154	206	359	4,674

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

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TRIP GENERATION COMPARISON

As shown in Table 5, the development of the proposed Project is anticipated to generate 144 more two-way PCE trips per day with 100 fewer AM PCE peak hour trips and 139 fewer PM PCE peak hour trips as compared to the currently approved uses. The trip generation comparison has been performed for the PCE trips only as the peak hour intersection operations analysis conducted in the SPA No. 5 Traffic Study was based on PCE.

TABLE 5: TRIP GENERATION COMPARISON

Land Use	AM Peak Hour			PM Peak Hour			Daily
	In	Out	Total	In	Out	Total	
Actual Vehicles:							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	34	8	42	8	28	36	444
Previously Approved Project Total	299	76	375	116	329	445	3,844
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	10	3	13	3	10	13	294
Proposed Project Total	223	95	317	147	191	337	4,238
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-24	-5	-29	-5	-18	-23	-150
Comparison Total	-76	19	-58	31	-138	-108	394
Passenger Car Equivalent (PCE):							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	87	20	107	19	70	89	1,130
Previously Approved Project Total	352	88	440	127	371	498	4,530
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	27	9	36	10	25	35	730
Proposed Project Total	240	101	340	154	206	359	4,674
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-60	-11	-71	-9	-45	-54	-400
Comparison Total	-112	13	-100	27	-165	-139	144

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CONCLUSION

The City's guidelines identify traffic operations analysis should be required if the proposed project meets the following criteria:

- When either the AM or PM peak hour trip generation on a weekday or weekend is expected to exceed 50 net new vehicles trips from the proposed development.

Although the daily trip generation shows a net increase, the peak hour operations analysis is based on the AM and PM peak hours. Since the trip generation comparison shows the proposed Project is anticipated to generate fewer trips during the peak hours as compared to the currently approved uses, additional traffic operations analysis is not required for this Project based on the City's Guidelines.

If you have any questions, please contact me directly at (949) 861-0177.

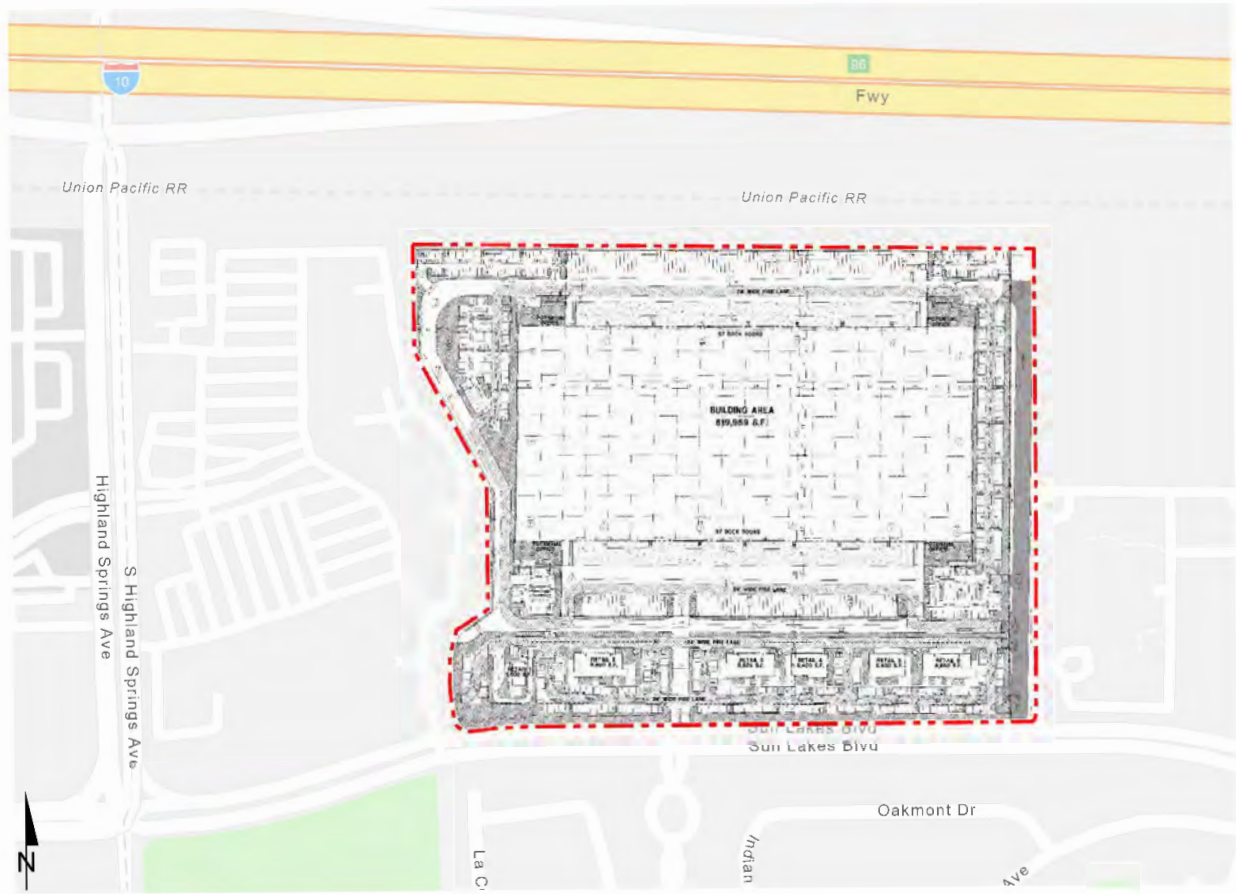
Respectfully submitted,

URBAN CROSSROADS, INC.



Charlene So, PE
Associate Principal

EXHIBIT 1: PRELIMINARY SITE PLAN



13841-02 TG Letter
AR 014746

AR011314



June 10, 2021

Ms. Pam Steele
MIG
1650 Spruce Street, Suite 102
Riverside, California 92507

SUBJECT: BANNING POINT VEHICLE MILES TRAVELED (VMT) ANALYSIS

Dear Ms. Pam Steele:

The following vehicle miles traveled (VMT) analysis has been prepared for the proposed Banning Point (**Project**) in the City of Banning.

PROJECT OVERVIEW

The Project is proposed to consist of 464,969 square feet of high-cube fulfillment center warehouse use (75% of the industrial use), 154,990 square feet of high-cube cold storage warehouse use (25% of the industrial use), 16,200 square feet of fast-food restaurant without drive-through window use, 1,600 square feet of coffee-donut shop with drive-through window use, and 16,200 square feet of shopping center use. The Project as proposed appears consistent with the industrial and commercial components of the approved Sun Lakes Village North Specific Plan Amendment No. 5 (**SPA No.5**).

BACKGROUND

Changes to California Environmental Quality Act (CEQA) Guidelines were adopted in December 2018, which require all lead agencies to adopt VMT as a replacement for automobile delay-based level of service (LOS) as the new measure for identifying transportation impacts for land use projects. This statewide mandate went into effect July 1, 2020. To aid in this transition, the Governor's Office of Planning and Research (OPR) released a Technical Advisory on Evaluating Transportation Impacts in CEQA (December of 2018) (**Technical Advisory**). (2) Based on OPR's Technical Advisory, the City of Banning has developed their own Traffic Impact Analysis Guidelines for Local Transportation Analysis and Vehicle Miles Traveled Analysis (**City Guidelines**), which is currently in draft form and pending final City Council adoption. (3) The draft City Guidelines have been utilized to prepare this VMT analysis, which is consistent with City direction.

PROJECT SCREENING

The City's Guidelines provides details on appropriate "screening thresholds" that can be used to identify when a proposed land development project is anticipated to result in a less than significant impact

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without conducting a more detailed analysis. The applicable screening thresholds to the Project are broken into the following types:

- Transit Priority Area (TPA) Screening
- Map Based Screening based on Low VMT Area
- Local-Serving Retail Screening
- Project Type Screening

A land development project need only to meet one of the above screening thresholds to result in a less than significant impact.

For the purposes of this analysis, the initial VMT screening process where applicable has been conducted using the WRCOG VMT Screening Tool (**Screening Tool**), which uses screening criteria consistent with the screening thresholds recommended in the City's Guidelines.

TPA SCREENING

Consistent with guidance identified in the Technical Advisory and City Guidelines, projects located within a Transit Priority Area (TPA) (i.e., within ½ mile of an existing "major transit stop"¹ or an existing stop along a "high-quality transit corridor"²) may be presumed to have a less than significant impact absent substantial evidence to the contrary.

However, the presumption may not be appropriate if a project:

- Has a Floor Area Ratio (FAR) of less than 0.75;
- Includes more parking for use by residents, customers, or employees of the project than required by the jurisdiction (if the jurisdiction requires the project to supply parking);
- Is inconsistent with the applicable Sustainable Communities Strategy (as determined by the lead agency, with input from the Metropolitan Planning Organization); or
- Replaces affordable residential units with a smaller number of moderate- or high-income residential units.

Based on the Screening Tool results presented in Attachment B, the Project site does is not located within ½ mile of an existing major transit stop, or along a high-quality transit corridor.

The TPA screening threshold is not met.

¹ Pub. Resources Code, § 21064.3 ("Major transit stop" means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.").

² Pub. Resources Code, § 21155 ("For purposes of this section, a high-quality transit corridor means a corridor with fixed route bus service with service intervals no longer than 15 minutes during peak commute hours.").

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LOW VMT AREA SCREENING

The City Guidelines state that, “proposed residential, office, industrial, or mixed-use projects, which are located within the low VMT zones identified after applying appropriate VMT analysis thresholds (provided later in this chapter) in the screening tool, and which do not require a GPA or COZ would be deemed to have less than significant impact.” The Screening Tool uses the sub-regional Riverside County Transportation Analysis Model (RIVTAM) to measure VMT performance within individual traffic analysis zones (TAZ’s) within the WRCOG region. The Project’s physical location based on parcel number was selected within the Screening Tool to determine the relevant TAZ’s VMT as compared to the jurisdictional average (see Attachment B). The Project boundary is located in TAZ 4344 and would appear to be within a low VMT generating TAZ based on daily home-based work (HBW) VMT per worker. Based on a review of the land use information contained within TAZ 4344 for the RIVTAM base year (2012) model, the zone includes very low levels of employment and low amounts of population and household data. The proposed Project would significantly increase the quantity and type of employment uses in the zone and would therefore not be entirely consistent with the underlying land use assumptions.

The Low VMT Area screening threshold is not met.

LOCAL SERVING RETAIL SCREENING

The City Guidelines identifies that local serving retail projects less than 50,000 square feet may be presumed to have a less than significant impact absent substantial evidence to the contrary. In addition to local serving retail, other types of local serving uses such as day care centers, non-destination hotels, affordable housing, places of worship, municipal services and other local serving uses may also be presumed to have a less than significant impact as local serving in nature and would tend to shorten vehicle trips. The retail uses within the proposed Project does not exceed the 50,000 square feet.

The Project Type screening threshold is met for the Project’s retail component only.

PROJECT TRIP SCREENING

The City’s Guidelines identifies that projects generating fewer than 500 daily vehicle trips (for projects requiring a GPA and fewer than 1,000 daily vehicle trips (for projects not requiring a GPA) are anticipated to meet the City’s Project Trip Screening threshold and result in a less than significant impact. Based on the Project’s forecasted trip generation (see Attachment A) would generate more than 1,000 daily vehicle trips.

The Project Trip screening threshold is not met.

The Project’s retail component is anticipated to have a less than significant impact. Since none of the applicable land development screening criteria were met for the Project’s industrial component, a project level VMT analysis should be prepared for the Project’s industrial component only.

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PROJECT VMT ASSESSMENT

The Riverside Transportation Analysis Model (RIVTAM) is a useful tool to estimate VMT as it considers interaction between different land uses based on socio-economic data such as population, households and employment. The City Guidelines identifies that until RIVCOM is released by WRCOG, RIVTAM is the appropriate tool for conducting VMT analysis for land use projects in the City.

Project VMT has been calculated using the most current version of RIVTAM. Adjustments in socio-economic data (SED) (i.e., Project employment) was made to a separate TAZ within the RIVTAM model to reflect the Project's proposed employment uses (i.e., industrial uses). A separate TAZ is used to isolate the Project's VMT.

Table 1 summarizes the employment estimates for the Project. It should be noted that the employment estimates are consistent with the land use to employment generation factors from the Riverside County General Plan. (4)

TABLE 1: EMPLOYMENT ESTIMATES

Land Use	Building Area	Building Area per Employee	Estimated Employees ³
Industrial	619,959	1,030 sf	602

Adjustments to employment factors for the Project's TAZ were made to baseline scenario and the RIVTAM model was then run inclusive of the Project's SED.

PROJECT VMT CALCULATION

Consistent with recommendations contained in the City's Guidelines, calculation of VMT for "other land uses" that are not residential or retail land use types are evaluated using VMT per employee⁴. For land uses where VMT per capita or VMT per employee are suitable metrics, the City Guidelines suggest the use of the Production-Attraction (PA) trip matrices be utilized. Using these matrices, project generated VMT was calculated consistent with the PA matrices methodology identified in Section 5.4 Detail VMT Forecasting Methodology of the City Guidelines. VMT is then normalized by dividing by the number of Project employees. As shown in Table 2, the Project's VMT per employee is 14.26.

TABLE 2: PROJECT VMT PER EMPLOYEE

	Baseline
Employment	602
VMT	8,582
HBW VMT / Worker ⁵	14.26

³ Riverside County General Plan Employment Factors

⁴ City's Guidelines; Page 23.

⁵ HBW VMT/Employee is a measure of all auto trips between home and work and does not include heavy duty truck trips or

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CITY OF BANNING VMT

The City's Guidelines provide VMT thresholds for their predominant land use types such as residential, office and retail. For "other land uses" City Guidelines state the threshold as "any net increase in VMT per employee for uses that are consistent with the General Plan, and for projects seeking a GPA the threshold would be 10.9 VMT per employee". As the proposed Project is consistent with the recently approved SPA No. 5, a threshold of no net increase in VMT per employee should be utilized. The VMT per employee value previously calculated for the SPA No. 5 is utilized as the impact threshold.

PROJECT LEVEL VMT ASSESSMENT

Table 3 illustrates the comparison between Project generated VMT per employee to the VMT per employee previously calculated for the Sun Lakes Village North Specific Plan Amendment No. 5 VMT Analysis.⁶ The VMT per employee value for the approved SPA No. 5 was 14.33, while the Project's calculated VMT per employee value is 14.26. The Project would not result in a net increase in VMT per employee and would therefore not result in a significant impact.

TABLE 3: VMT PER EMPLOYEE COMPARISON

	Baseline VMT per Employee
SPA No.5	14.33
Project	14.26
Difference	-0.07
Net Increase?	No

CONCLUSION

In summary, the Project's retail component was found to meet City adopted local serving retail screening threshold and is therefore the retail component of the Project is presumed to result in a less than significant impact. The Project's industrial component was then evaluated and compared to the City's adopted impact threshold of no net increase in VMT per employee. The Project generated VMT per employee value was found to be less than that already disclosed in the approved SPA No. 5 VMT analysis. Therefore, the Project's potential impact to VMT is presumed to be less than significant.

freight, which is consistent with OPR direction and Riverside County VMT calculation guidelines.

⁶ SPA No. 5 VMT Analysis; Page 5, Table 2

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If you have any questions, please contact me directly at (949) 660-1994.

Respectfully submitted,

URBAN CROSSROADS, INC.



Alex So
Senior Analyst

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MIG
June 10, 2021
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REFERENCES

1. **Office of Planning and Research.** *Technical Advisory on Evaluating Transportation Impacts in CEQA.* State of California : s.n., December 2018.
2. **City of Banning.** *Traffic Impact Analysis Guidelines For Local Transportation Analysis and Vehicle Miles Traveled Analysis.* City of Banning : s.n., TBD.
3. **County of Riverside.** *Appendix E: Socioeconomic Build-Out Assumptions and Methodology.* County of Riverside : s.n., April 2017.

ATTACHMENT A
PROJECT TRIP GENERATION

TABLE 1: CURRENTLY APPROVED TRIP GENERATION SUMMARY

Land Use	Quantity Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Trip Generation Summary (Actual Vehicles):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		6	1	7	1	5	6	74
3-axle Trucks:		7	2	9	2	6	8	92
4+axle Trucks:		21	5	26	5	17	22	278
Total Trucks:		34	8	42	8	28	36	444
Industrial Park Subtotal		284	67	351	74	278	352	2,958
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-43	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (Actual Vehicles) ²		299	76	375	116	329	445	3,844
Trip Generation Summary (PCE):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		9	2	11	2	7	9	112
3-axle Trucks:		14	3	17	3	11	14	184
4+axle Trucks:		64	15	79	14	52	66	834
Total Trucks (PCE):		87	20	107	19	70	89	1,130
Industrial Park Subtotal		337	79	416	85	320	405	3,644
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-42	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (PCE) ²		352	88	440	127	371	498	4,530

Source: Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020).

¹ TSF = thousand square feet

² Total Trips = Passenger Cars + Truck Trips.

TABLE 2: TRIP GENERATION RATES

Land Use ¹	Units ²	ITE LU Code	AM Peak Hour			PM Peak Hour			Daily
			In	Out	Total	In	Out	Total	
Actual Vehicle Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks			0.006	0.002	0.008	0.003	0.008	0.011	0.162
5+ Axle Trucks			0.008	0.003	0.011	0.003	0.007	0.010	0.217
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks			0.008	0.002	0.010	0.003	0.007	0.010	0.257
3-Axle Trucks			0.003	0.001	0.003	0.001	0.002	0.003	0.082
4+ Axle Trucks			0.012	0.004	0.016	0.004	0.011	0.015	0.403
Fast Food without Drive Thru	TSF	933	15.060	10.040	25.100	14.170	14.170	28.340	346.230
Coffee/Donut Shop with Drive Thru	TSF	937	45.385	43.605	88.990	21.690	21.690	43.380	820.380
Shopping Center	TSF	820	0.583	0.357	0.940	1.829	1.981	3.810	37.750
Passenger Car Equivalent (PCE) Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks (PCE = 2.0)			0.012	0.004	0.016	0.006	0.016	0.022	0.324
5+ Axle Trucks (PCE = 3.0)			0.025	0.008	0.033	0.008	0.022	0.030	0.651
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks (PCE = 1.5)			0.012	0.004	0.015	0.004	0.010	0.014	0.386
3-Axle Trucks (PCE = 2.0)			0.005	0.002	0.007	0.002	0.004	0.006	0.163
4+ Axle Trucks (PCE = 3.0)			0.037	0.011	0.048	0.012	0.033	0.045	1.209

¹ Trip Generation Source: Institute of Transportation Engineers (ITE). Trip Generation Manual, Tenth Edition (2017).

² TSF = thousand square feet

³ Vehicle Mix Source: High Cube Warehouse Trip Generation Study, WSP, January 29, 2019.

Inbound and outbound split source: High Cube Warehouse Vehicle Trip Generation Analysis, October 2016, ITE.

⁴ Vehicle Mix Source: ITE Trip Generation Handbook Supplement (2020), Appendix C.

Truck Mix Source: South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Study Data Results and Usage (2014).

Normalized % - With Cold Storage: 34.7% 2-Axle trucks, 11.0% 3-Axle trucks, 54.3% 4-Axle trucks.

TABLE 3: PROPOSED PROJECT TRIP GENERATION SUMMARY (ACTUAL VEHICLES)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		3	1	4	1	4	5	76
5+axle Trucks:		4	1	5	1	3	4	102
Total Truck:		7	2	9	2	7	9	178
Fulfillment Center Warehouse (Actual Vehicles)		37	3	40	15	52	67	938
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		1	0	1	0	1	1	40
3-axle Trucks:		0	0	0	0	0	0	14
4+axle Trucks:		2	1	3	1	2	3	62
Total Truck:		3	1	4	1	3	4	116
High-Cube Cold Storage Warehouse (Actual Vehicles)		11	2	13	3	12	16	312
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Industrial Total (Actual Vehicles)		48	5	53	18	64	83	1,250
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Project Total (Actual Vehicles)		223	95	317	147	191	337	4,238

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

TABLE 4: PROPOSED PROJECT TRIP GENERATION SUMMARY (PCE)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		6	2	8	3	7	10	152
5+axle Trucks:		12	4	16	4	10	14	304
Total Truck:		18	6	24	7	17	24	456
Fulfillment Center Warehouse (PCE)		48	7	55	20	62	82	1,216
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		2	1	3	1	2	3	60
3-axle Trucks:		1	0	1	0	1	1	26
4+axle Trucks:		6	2	8	2	5	7	188
Total Truck:		9	3	12	3	8	11	274
High-Cube Cold Storage Warehouse (PCE)		17	4	21	5	17	23	470
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (PCE)		27	9	36	10	25	35	730
Industrial Total (PCE)		65	11	76	25	79	105	1,686
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		27	9	36	10	25	35	730
Project Total (PCE)		240	101	340	154	206	359	4,674

¹ TSF = thousand square feet

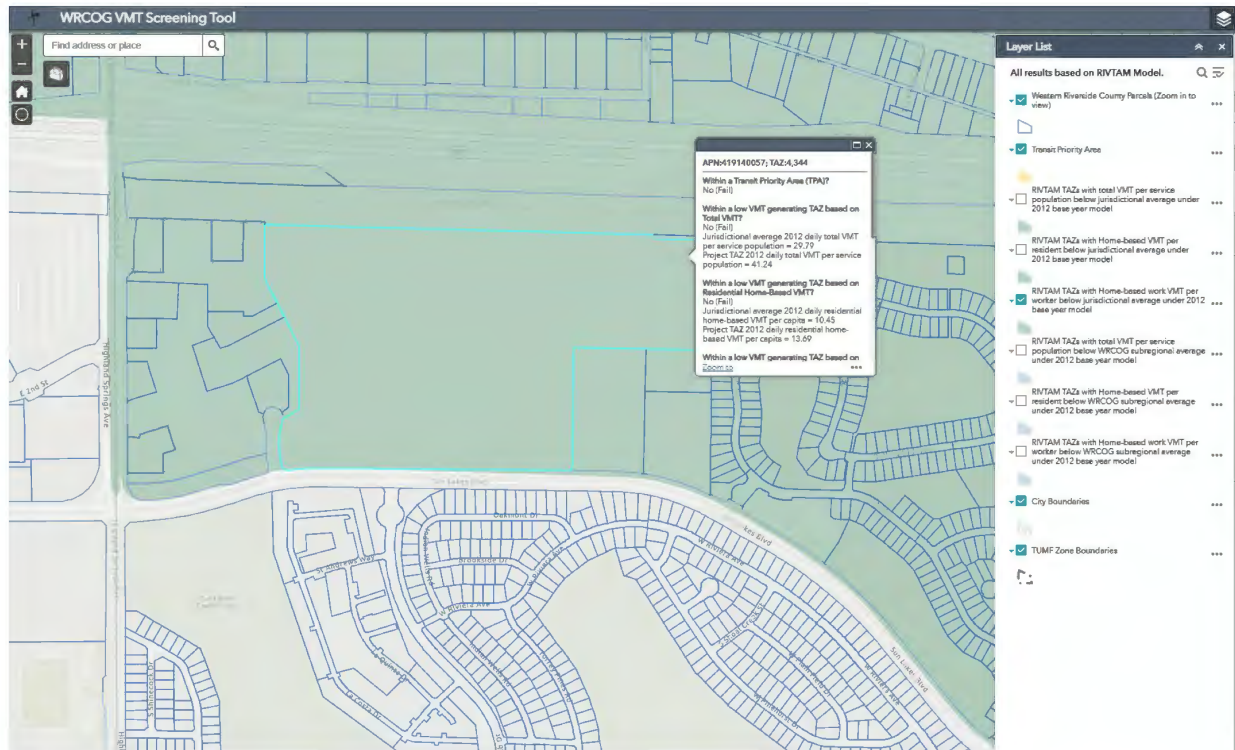
² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

TABLE 5: TRIP GENERATION COMPARISON

Land Use	AM Peak Hour			PM Peak Hour			Daily
	In	Out	Total	In	Out	Total	
Actual Vehicles:							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	34	8	42	8	28	36	444
Previously Approved Project Total	299	76	375	116	329	445	3,844
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	10	3	13	3	10	13	294
Proposed Project Total	223	95	317	147	191	337	4,238
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-24	-5	-29	-5	-18	-23	-150
Comparison Total	-76	19	-58	31	-138	-108	394
Passenger Car Equivalent (PCE):							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	87	20	107	19	70	89	1,130
Previously Approved Project Total	352	88	440	127	371	498	4,530
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	27	9	36	10	25	35	730
Proposed Project Total	240	101	340	154	206	359	4,674
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-60	-11	-71	-9	-45	-54	-400
Comparison Total	-112	13	-100	27	-165	-139	144

ATTACHMENT B
WRCOG VMT SCREENING TOOL



From: Lisa Edwards
Sent: Tuesday, September 28, 2021 8:08 AM PDT
To: Patrick Johnson
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Perfect. Thanks Patrick!

Get [Outlook for iOS](#)

From: Patrick Johnson <pjohnson@willdan.com>

Sent: Tuesday, September 28, 2021 8:03:26 AM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Plans are approved from a DR standpoint, but still need to be submitted to the building and safety department for plan review. See attached transmittal that was sent to Sandra on 9-7-21.

Thank you,
Patrick Johnson, PE, CBO
Director of Building & Safety

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T. 909.963.0565
C. 909.915.4361

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:18 PM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

CAUTION: This email originated from outside of Willdan. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Patrick,

Hope your weekend was wonderous. The applicant for this one is curious to know if they adequately responded to your initial comments (i.e. ADA reqs). Or if you require additional time...?

Thanks for any update you may have!

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Wednesday, September 15, 2021 3:05 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

AR 014762

COB_0078

AR011330

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at (909) 838-1005 ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

AR 014763

COB_0079

AR011331

From: Lisa Edwards
Sent: Tuesday, September 28, 2021 10:14 AM PDT
To: Adam Rush
Subject: Fw: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

TIA comments. See link below...

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 8:08 AM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Perfect. Thanks Patrick!

Get [Outlook for iOS](#)

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Tuesday, September 28, 2021 8:03:26 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Plans are approved from a DR standpoint, but still need to be submitted to the building and safety department for plan review. See attached transmittal that was sent to Sandra on 9-7-21.

Thank you,
Patrick Johnson, PE, CBO
Director of Building & Safety

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C. 909.915.4361

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:18 PM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Hi Patrick,

Hope your weekend was wonderful. The applicant for this one is curious to know if they adequately responded to your initial comments (i.e. ADA reqs). Or if you require additional time...?

Thanks for any update you may have!

AR 014764

COB_0080

AR011332

From: Patrick Johnson <pjohnson@willdan.com>

Sent: Wednesday, September 15, 2021 3:05 PM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at (909) 838-1005 ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

AR 014765

COB_0081

AR011333

From: Lisa Edwards
Sent: Tuesday, September 28, 2021 10:31 AM PDT
To: Adam Rush
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

So after reviewing the conclusions for VMT and Trip Generation, the Project impacts are less than significant per Urban Crossroads analysis.

Also, ERSC reviewed the Project for Engineering comments and had the following site design comments, which I think they may be agreeable/feasible:

1. It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.
2. The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 10:14 AM
To: Adam Rush <arush@banningca.gov>
Subject: Fw: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

TIA comments. See link below...

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 8:08 AM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Perfect. Thanks Patrick!

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From: Patrick Johnson <pjohnson@willdan.com>
Sent: Tuesday, September 28, 2021 8:03:26 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Plans are approved from a DR standpoint, but still need to be submitted to the building and safety department for plan review. See attached transmittal that was sent to Sandra on 9-7-21.

Thank you,
Patrick Johnson, PE, CBO
Director of Building & Safety

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T. 909.963.0565
C. 909.915.4361

AR 014766

COB_0082

AR011334

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:18 PM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Hi Patrick,

Hope your weekend was wonderful. The applicant for this one is curious to know if they adequately responded to your initial comments (i.e. ADA reqs). Or if you require additional time...?

Thanks for any update you may have!

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Wednesday, September 15, 2021 3:05 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at (909) 838-1005 ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

AR 014767

COB_0083

AR011335

From: Adam Rush
Sent: Tuesday, September 28, 2021 9:01 PM PDT
To: Lisa Edwards
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

These are the building and safety comments. Not the traffic study.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
99 Ramsey Street
Banning, CA, 92220
Office: (951) 922-3131
Fax: (951) 922-3128
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Sep 28, 2021, at 10:14 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

TIA comments. See link below...

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 8:08 AM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Perfect. Thanks Patrick!

Get [Outlook for iOS](#)

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Tuesday, September 28, 2021 8:03:26 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Plans are approved from a DR standpoint, but still need to be submitted to the building and safety department for plan review. See attached transmittal that was sent to Sandra on 9-7-21.

Thank you,
Patrick Johnson, PE, CBO
Director of Building & Safety

Willdan

AR 014768

COB_0648

AR011336

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T. 909.963.0565

C. Privacy

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:18 PM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Hi Patrick,

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Thanks for any update you may have!

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Wednesday, September 15, 2021 3:05 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Thank you,
Patrick Johnson, P.E.

AR 014769

COB_0649

AR011337

From: Lisa Edwards
Sent: Tuesday, September 28, 2021 9:30 PM PDT
To: Adam Rush
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Omgoodness. Let me try that again.

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From: Adam Rush <arush@banningca.gov>

Sent: Tuesday, September 28, 2021 9:01:12 PM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

These are the building and safety comments. Not the traffic study.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning

[99 Ramsey Street](#)

[Banning, CA, 92220](#)

Office: [\(951\) 922-3131](#)

Fax: [\(951\) 922-3128](#)

Cell: Privacy

Email: arush@banningca.gov

www.banningca.gov

On Sep 28, 2021, at 10:14 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

TIA comments. See link below...

From: Lisa Edwards <ledwards@banningca.gov>

Sent: Tuesday, September 28, 2021 8:08 AM

To: Patrick Johnson <pjohnson@willdan.com>

Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Perfect. Thanks Patrick!

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From: Patrick Johnson <pjohnson@willdan.com>

Sent: Tuesday, September 28, 2021 8:03:26 AM

To: Lisa Edwards <ledwards@banningca.gov>

Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

AR 014770

COB_0650

AR011338

* Privacy

Plans are approved from a DR standpoint, but still need to be submitted to the building and safety department for plan review. See attached transmittal that was sent to Sandra on 9-7-21.

Thank you,
Patrick Johnson, PE, CBO
Director of Building & Safety

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T. 909.963.0565

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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:18 PM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Thanks for any update you may have!

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Wednesday, September 15, 2021 3:05 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at  ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

AR 014771

COB_0651

AR011339

From: Adam Rush
Sent: Tuesday, September 28, 2021 10:44 PM PDT
To: Lisa Edwards
Subject: RE: Banning Point - CEQA review
Attachments: image001.jpg

Thank you. And this memo has been transmitted to Urban Crossroads and MIG?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line:  Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 9:40 PM
To: Adam Rush <arush@banningca.gov>
Subject: Fw: Banning Point - CEQA review

See attached memos.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:20 PM
To: Pam Steele <pams@migcom.com>
Cc: alexs@migcom.com <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Hi Pam,

Please see attached 1st round TIA comments.

I also sent another nudge to B&S as our BO return from vacation last week and I'm sure he is catching up on quite a bit.

And I should be able to complete the EIR consistency review by this week.

AR 014772

COB_2041

AR011340

Thanks again for your continued patience...

From: Pam Steele <pams@migcom.com>
Sent: Monday, September 27, 2021 2:50 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: alexs@migcom.com <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Touching base on your comment bullets 1 and 4 - Building comments (conditions?) and EIR Consistency doc. We received the BEU comments and, thank you for your review of the GHG/AQ study.

Also - do you (Planning) have any more comments on the Site Plan submittal?

Thanks for your help,

Pam

On Mon, Sep 20, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Hi Alex,

- Patrick (B&S) will return to the office 9/22 and is aware that we are eager for his sign off. I assume he will just need to check ADA, etc. I don't foresee his items causing any delay in the hearing date.
- Brandon (BEU) mostly has COAs, but have sent him an email to confirm he has no further comments.
- I have reviewed the GHG/Air Quality study and am comfortable with the findings.
- I am still sifting through the 99-page EIR consistency doc. I hope to complete my review in the next few days.

Again, thanks for your patience and feel free to reach out if you need any other assistance.

From: Alex Steele <alexs@migcom.com>
Sent: Monday, September 20, 2021 12:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Any word from these outstanding departments?

AR 014773

COB_2042

AR011341

Alex Steele

Senior Associate Planner



PLANNING | DESIGN | COMMUNICATIONS | MANAGEMENT | SCIENCE | TECHNOLOGY

1650 Spruce Street, Suite 106

Riverside, California 92507 | USA

office: 951-787-9222 extension: 8330 cell: Privacy

your-email@migcom.com

www.migcom.com

[facebook](#) [twitter](#) [linkedin](#) [instagram](#)

On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>

Sent: Wednesday, September 15, 2021 2:58 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>

Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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AR 014774

COB_2043

AR011342

On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2021-08-05-Preliminary Hydrology Report.pdf](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.docx](#)



[18014001-165_Banning47-Prelim Hydrology Report- PC2Memo.pdf](#)



Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>

Sent: Tuesday, September 14, 2021 4:28 PM

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>

Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

AR 014775

COB_2044

AR011343

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (Privacy) to reach me. Thanks!



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--

Pam Steele

Principal

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AR 014776

COB_2045

AR011344

--

Pam Steele

Principal

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AR 014777

COB_2046

AR011345

From: Adam Rush <arush@banningca.gov>
Sent: Tuesday, September 28, 2021 10:44 PM
To: Lisa Edwards
Subject: RE: Banning Point - CEQA review

Thank you. And this memo has been transmitted to Urban Crossroads and MIG?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: 760-219-2791
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 9:40 PM
To: Adam Rush <arush@banningca.gov>
Subject: Fw: Banning Point - CEQA review

See attached memos.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:20 PM
To: Pam Steele <pams@migcom.com>
Cc: alexs@migcom.com <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Hi Pam,

Please see attached 1st round TIA comments.

I also sent another nudge to B&S as our BO return from vacation last week and I'm sure he is catching up on quite a bit.

And I should be able to complete the EIR consistency review by this week.

Thanks again for your continued patience...

From: Pam Steele <pams@migcom.com>
Sent: Monday, September 27, 2021 2:50 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: alexs@migcom.com <alexs@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Touching base on your comment bullets 1 and 4 - Building comments (conditions?) and EIR Consistency doc. We received the BEU comments and, thank you for your review of the GHG/AQ study.

Also - do you (Planning) have any more comments on the Site Plan submittal?

Thanks for your help,

Pam

On Mon, Sep 20, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Hi Alex,

- Patrick (B&S) will return to the office 9/22 and is aware that we are eager for his sign off. I assume he will just need to check ADA, etc. I don't foresee his items causing any delay in the hearing date.
- Brandon (BEU) mostly has COAs, but have sent him an email to confirm he has no further comments.
- I have reviewed the GHG/Air Quality study and am comfortable with the findings.
- I am still sifting through the 99-page EIR consistency doc. I hope to complete my review in the next few days.

Again, thanks for your patience and feel free to reach out if you need any other assistance.

From: Alex Steele <alexs@migcom.com>
Sent: Monday, September 20, 2021 12:04 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Any word from these outstanding departments?

Alex Steele

Senior Associate Planner



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On Thu, Sep 16, 2021 at 5:15 PM Lisa Edwards <ledwards@banningca.gov> wrote:

See attached sign off from Fire.

Still following up with B&S and BEU. Thanks so much for your patience.

From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 2:58 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Pam Steele <pams@migcom.com>; Adam Rush <arush@banningca.gov>
Subject: Re: Banning Point - CEQA review

Lisa,

Thank you for these. Between this and the series of comments you sent this morning, is that everything as far as comments on the Design Review resubmittal? Or should we be expecting more?

Thank you,

Alex Steele

Senior Associate Planner



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On Wed, Sep 15, 2021 at 2:41 PM Lisa Edwards <ledwards@banningca.gov> wrote:

Lisa Edwards has shared OneDrive for Business files with you. To view them, click the links below.



[2801408-1565-Banning-47-Prelim-Hydrology-Report- PC2Memo.pdf](#)



Attached please find Engineering's comments regarding Hydrology.

Also, see attached Site Plan redlines.

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, September 14, 2021 4:28 PM
To: Lisa Edwards <ledwards@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Alex Steele <alexs@migcom.com>
Subject: Re: Banning Point - CEQA review

Lisa,

Can you give us an update on the review of the CEQA document? and the comments from the departments?

Our team would like to review the conditions of approval from the departments as well.

Thank you for your assistance,

Pam

On Fri, Sep 10, 2021 at 10:53 AM Pam Steele <pams@migcom.com> wrote:

Lisa,

Good morning! Just touching base to see if you have completed your review of the CEQA compliance docs for Banning Point. We are anxious to review and respond to any questions you might have.

Please let us know.

Thank you!

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



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From: Adam Rush <arush@banningca.gov>
Sent: Tuesday, September 28, 2021 9:01 PM
To: Lisa Edwards
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

These are the building and safety comments. Not the traffic study.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [\(760\) 219-2791](#)
Email: arush@banningca.gov
www.banningca.gov

On Sep 28, 2021, at 10:14 AM, Lisa Edwards <ledwards@banningca.gov> wrote:

TIA comments. See link below...

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 8:08 AM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Perfect. Thanks Patrick!

Get [Outlook for iOS](#)

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Tuesday, September 28, 2021 8:03:26 AM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Plans are approved from a DR standpoint, but still need to be submitted to the building and safety department for plan review. See attached transmittal that was sent to Sandra on 9-7-21.

Thank you,

Patrick Johnson, PE, CBO
Director of Building & Safety

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Comprehensive. Innovative. Trusted.

T. 909.963.0565
C. 909.915.4361

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:18 PM
To: Patrick Johnson <pjohnson@willdan.com>
Subject: Re: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

CAUTION: This email originated from outside of Willdan. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Patrick,

Hope your weekend was wonderful. The applicant for this one is curious to know if they adequately responded to your initial comments (i.e. ADA reqs). Or if you require additional time...?

Thanks for any update you may have!

From: Patrick Johnson <pjohnson@willdan.com>
Sent: Wednesday, September 15, 2021 3:05 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: Automatic reply: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

I'll be out of the office at the ICC Annual Conference in Pittsburgh through September 22nd and will be checking emails when time permits. If you need immediate assistance please contact Estelle Cope at (909) 838-1005 ecope@willdan.com

Thank you,
Patrick Johnson, P.E.

From: Lisa Edwards <ledwards@banningca.gov>
Sent: Tuesday, September 28, 2021 10:15 AM
To: Adam Rush
Subject: Fw: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Thank you,
Patrick Johnson, P.E.

From: Pam Steele
Sent: Wednesday, September 29, 2021 9:22 AM PDT
To: jaggere@creationequity.com; alexs@migcom.com; blakew@lgedesignbuild.com; brobinson@banningca.gov; genep@lgedesignbuild.com; grantk@creationequity.com; jeff@thieneseng.com; jeffm@greggelectric.com; johng@greggelectric.com; sha@hparchs.com; Pam Steele
Subject: Banning Point - Electrical Line Discussion

Sha - please confirm that you receive this and the invitation information.
Thanks,

Pam

Banning Point - Electrical Line Discussion

When Wed Sep 29, 2021 9am – 10am Pacific Time - Los Angeles

Where <https://zoom.us/j/96213403404?pwd=QW4zRENOaWNVeGY4QVYwcWlkUS8zUT09;ConfRm02,ConfRm02> ([map](#))

Who

- Jagger Everett - organizer
- Pam Steele - creator
- alexs@migcom.com
- Blake Wells
- Gene Plum
- Grant Kingdon
- Jeff Potter
- Brandon Robinson
- Sha Liu Mahoney
- Jeff Mensen - optional
- John Gaglio - optional

Creation is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://zoom.us/j/96213403404?pwd=QW4zRENOaWNVeGY4QVYwcWlkUS8zUT09>

Meeting ID: 962 1340 3404

Passcode: 403918

One tap mobile

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Dial by your location

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+1 346 248 7799 US (Houston)

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+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

833 548 0276 US Toll-free

833 548 0282 US Toll-free

877 853 5257 US Toll-free

888 475 4499 US Toll-free

Meeting ID: 962 1340 3404

Passcode: 403918

Find your local number: <https://zoom.us/u/aLha0PF1t>

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AR 014787

COB_0652

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AR 014788

COB_0653

AR011356

From: Lisa Edwards
Sent: Wednesday, September 29, 2021 4:12 PM PDT
To: Emery Papp
Subject: Re: DR 21-7008 (Banning Point) - EIR consistency doc
Attachments: image001.png, image002.jpg

No worries. It is an enormous doc. I've been skimming through it for days. But hope to get back to applicant by end of week...

Thanks again for your help!

From: Emery Papp <epapp@banningca.gov>
Sent: Wednesday, September 29, 2021 3:45 PM
To: Lisa Edwards <ledwards@banningca.gov>
Subject: RE: DR 21-7008 (Banning Point) - EIR consistency doc

Hello Lisa,

I was hoping to get comments to you today, but the Housing Element and a couple of other assignments have occupied my day. I will have comments for you by COB tomorrow. Sorry for the delay.

Emery

Emery J. Papp
Senior Planner
Community Development Department

City of Banning
Direct Line: 951-922-3152
Direct Fax: 951-922-3128
epapp@banningca.gov
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From: Lisa Edwards <ledwards@banningca.gov>
Sent: Monday, September 27, 2021 3:33 PM
To: Emery Papp <epapp@banningca.gov>
Subject: DR 21-7008 (Banning Point) - EIR consistency doc

Hi Emery,

I was checking to see if you were able to help me dissect this EIR consistency doc for the Banning Point project I am working on (DR 21-7008). Any comments would be appreciated.

AR 014789

COB_1335

AR011357

They are proposing 620k sq. ft. industrial and 34k sq. ft. retail within the Sun Lakes Village North Specific Plan. But it's 100 pages long!

 [20210819_13714_LGE Design Build Draft Consistency Analysis_to Applicant.docx](#)

If you aren't able to find the time, I understand. I was hoping to get back to them by end of week...and know that you have a strong environmental background. ☐

If you are able to help, please feel free to make notes in the SharePoint version of this doc (see link).

Thanks so much!

Lisa Edwards

Contract Planner
Community Development Department
Planning Division
City of Banning
99 E. Ramsey Street
Banning, CA 92220
Office: (951) 663-1732
Email: ledwards@banningca.gov
Website: www.banningca.gov



AR 014790

COB_1336

AR011358



urbanroads.com

October 4, 2021

Mr. Adam Rush
City of Banning Public Works
99 E. Ramsey Street
Banning, CA 92220

SUBJECT: BANNING POINT (TPM 38164) TRIP GENERATION ASSESSMENT

Dear Mr. Adam Rush:

Urban Crossroads, Inc. is pleased to provide the following Trip Generation Assessment for Banning Point development (Project) which is located on the northeast corner of Sun Lake Village Drive and Sun Lakes Boulevard in the City of Banning (see Exhibit 1 for preliminary site plan). The purpose of this trip generation evaluation is to determine whether additional traffic operations analysis is needed based on a comparison of the proposed Project trip generation and that evaluated for the currently approved project as evaluated in the Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020, referred to as **SPA No. 5 Traffic Study**).

CURRENTLY APPROVED TRIP GENERATION

The SPA No. 5 Traffic Study evaluated the development of 877,298 square feet of industrial park use and 37,189 square feet of commercial retail use within the area bounded by the proposed Project. There was also 52,065 square feet of medical office use evaluated in the SPA No. 5 Traffic Study, however, this portion of the Specific Plan lies outside of the proposed Project boundary. As such, only the industrial park and commercial retail uses have been contemplated for the purposes of this trip generation assessment. The trip generation summary for the currently approved Project uses is shown on Table 1. As shown on Table 1, the currently approved uses were anticipated to generate 3,844 two-way trips per day, with 375 trips during the AM peak hour and 445 trips during the PM peak hour. In passenger car equivalents (PCE), the currently approved uses were anticipated to generate 4,530 two-way PCE trips per day with 440 AM PCE peak hour trips and 498 PM PCE peak hour trips.

Mr. Adam Rush
 City of Banning Public Works
 October 4, 2021
 Page 2 of 7

TABLE 1: CURRENTLY APPROVED TRIP GENERATION SUMMARY

Land Use	Quantity Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Trip Generation Summary (Actual Vehicles):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		6	1	7	1	5	6	74
3-axle Trucks:		7	2	9	2	6	8	92
4+-axle Trucks:		21	5	26	5	17	22	278
Total Trucks:		34	8	42	8	28	36	444
Industrial Park Subtotal		284	67	351	74	278	352	2,958
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-43	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (Actual Vehicles) ²		299	76	375	116	329	445	3,844
Trip Generation Summary (PCE):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		9	2	11	2	7	9	112
3-axle Trucks:		14	3	17	3	11	14	184
4+-axle Trucks:		64	15	79	14	52	66	834
Total Trucks (PCE):		87	20	107	19	70	89	1,130
Industrial Park Subtotal		337	79	416	85	320	405	3,644
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-42	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (PCE) ²		352	88	440	127	371	498	4,530

Source: Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020).

¹ TSF = thousand square feet

² Total Trips = Passenger Cars + Truck Trips.

PROPOSED PROJECT TRIP GENERATION

The Project is proposed to consist of 464,969 square feet of high-cube fulfillment center warehouse use (75% of the industrial use), 154,990 square feet of high-cube cold storage warehouse use (25% of the industrial use), 16,200 square feet of fast-food restaurant without drive-through window use, 1,600 square feet of coffee-donut shop with drive-through window use, and 16,200 square feet of shopping center use. Consistent with the SPA No. 5 Traffic Study, the industrial uses are proposed on the northern end of the site with the commercial retail uses fronting Sun Lakes Boulevard to the south. The proposed

Mr. Adam Rush
 City of Banning Public Works
 October 4, 2021
 Page 3 of 7

access to the site is also consistent with the SPA No. 5 Traffic Study, with access points proposed along Sun Lakes Village Drive and two driveways along Sun Lakes Boulevard to the east. The westerly driveway on Sun Lakes Boulevard into the commercial retail area is proposed to have full access, aligning with the existing Country Club Drive and the easterly driveway on Sun Lakes Boulevard will be restricted to right-in/right-out access only (to be controlled by the existing raised median).

Trip generation for the proposed Project land uses is based upon information collected by the Institute of Transportation Engineers (ITE) as provided in their Trip Generation Manual (10th Edition, 2017), the ITE Trip Generation Handbook (3rd Edition, 2017), the South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Generation Data Results and Usage (2014), and the High-Cube Warehouse Trip Generation Study (WSP, January 29, 2019). The trip generation rates for the proposed Project are provided on Table 2.

TABLE 2: TRIP GENERATION RATES

Land Use ¹	Units ²	ITE LU Code	AM Peak Hour			PM Peak Hour			Daily
			In	Out	Total	In	Out	Total	
Actual Vehicle Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks			0.006	0.002	0.008	0.003	0.008	0.011	0.162
5+ Axle Trucks			0.008	0.003	0.011	0.003	0.007	0.010	0.217
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks			0.008	0.002	0.010	0.003	0.007	0.010	0.257
3-Axle Trucks			0.003	0.001	0.003	0.001	0.002	0.003	0.082
4+ Axle Trucks			0.012	0.004	0.016	0.004	0.011	0.015	0.403
Fast Food without Drive Thru	TSF	933	15.060	10.040	25.100	14.170	14.170	28.340	346.230
Coffee/Donut Shop with Drive Thru	TSF	937	45.385	43.605	88.990	21.690	21.690	43.380	820.380
Shopping Center	TSF	820	0.583	0.357	0.940	1.829	1.981	3.810	37.750
Passenger Car Equivalent (PCE) Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks (PCE = 2.0)			0.012	0.004	0.016	0.006	0.016	0.022	0.324
5+ Axle Trucks (PCE = 3.0)			0.025	0.008	0.033	0.008	0.022	0.030	0.651
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks (PCE = 1.5)			0.012	0.004	0.015	0.004	0.010	0.014	0.386
3-Axle Trucks (PCE = 2.0)			0.005	0.002	0.007	0.002	0.004	0.006	0.163
4+ Axle Trucks (PCE = 3.0)			0.037	0.011	0.048	0.012	0.033	0.045	1.209

¹ Trip Generation Source: Institute of Transportation Engineers (ITE), Trip Generation Manual, Tenth Edition (2017).

² TSF = thousand square feet

³ Vehicle Mix Source: High Cube Warehouse Trip Generation Study, WSP, January 29, 2019.

Inbound and outbound split source: High Cube Warehouse Vehicle Trip Generation Analysis, October 2016, ITE.

⁴ Vehicle Mix Source: ITE Trip Generation Handbook Supplement (2020), Appendix C.

Truck Mix Source: South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Study Data Results and Usage (2014).

Normalized % - With Cold Storage: 34.7% 2-Axle trucks, 11.0% 3-Axle trucks, 54.3% 4-Axle trucks.

Mr. Adam Rush
City of Banning Public Works
October 4, 2021
Page 4 of 7

As shown on Table 3, the proposed Project is anticipated to generate 4,238 two-way trips per day, with 317 trips generated during the AM peak hour and 337 trips generated during the PM peak hour (in actual vehicles).

TABLE 3: PROPOSED PROJECT TRIP GENERATION SUMMARY (ACTUAL VEHICLES)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		3	1	4	1	4	5	76
5+axle Trucks:		4	1	5	1	3	4	102
Total Truck:		7	2	9	2	7	9	178
Fulfillment Center Warehouse (Actual Vehicles)		37	3	40	15	52	67	938
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		1	0	1	0	1	1	40
3-axle Trucks:		0	0	0	0	0	0	14
4+axle Trucks:		2	1	3	1	2	3	62
Total Truck:		3	1	4	1	3	4	116
High-Cube Cold Storage Warehouse (Actual Vehicles)		11	2	13	3	12	16	312
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Industrial Total (Actual Vehicles)		48	5	53	18	64	83	1,250
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Project Total (Actual Vehicles)		223	95	317	147	191	337	4,238

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

Mr. Adam Rush
City of Banning Public Works
October 4, 2021
Page 5 of 7

As shown on Table 4, the proposed Project is anticipated to generate 4,674 two-way PCE trips per day, with 340 AM PCE peak hour trips and 359 PM PCE peak hour trips.

TABLE 4: PROPOSED PROJECT TRIP GENERATION SUMMARY (PCE)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		6	2	8	3	7	10	152
5+-axle Trucks:		12	4	16	4	10	14	304
Total Truck:		18	6	24	7	17	24	456
Fulfillment Center Warehouse (PCE)		48	7	55	20	62	82	1,216
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		2	1	3	1	2	3	60
3-axle Trucks:		1	0	1	0	1	1	26
4+-axle Trucks:		6	2	8	2	5	7	188
Total Truck:		9	3	12	3	8	11	274
High-Cube Cold Storage Warehouse (PCE)		17	4	21	5	17	23	470
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (PCE)		27	9	36	10	25	35	730
Industrial Total (PCE)		65	11	76	25	79	105	1,686
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		27	9	36	10	25	35	730
Project Total (PCE)		240	101	340	154	206	359	4,674

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

Mr. Adam Rush
 City of Banning Public Works
 October 4, 2021
 Page 6 of 7

TRIP GENERATION COMPARISON

As shown in Table 5, the development of the proposed Project is anticipated to generate 144 more two-way PCE trips per day with 100 fewer AM PCE peak hour trips and 139 fewer PM PCE peak hour trips as compared to the currently approved uses. The trip generation comparison has been performed for the PCE trips only as the peak hour intersection operations analysis conducted in the SPA No. 5 Traffic Study was based on PCE.

Exhibit 2 illustrates the Project only traffic volumes for both the SPA No. 5 and the proposed Project for the project driveways and the adjacent intersection of Sun Lake Village Drive and Sun Lakes Boulevard.

TABLE 5: TRIP GENERATION COMPARISON

Land Use	AM Peak Hour			PM Peak Hour			Daily
	In	Out	Total	In	Out	Total	
Actual Vehicles:							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	34	8	42	8	28	36	444
Previously Approved Project Total	299	76	375	116	329	445	3,844
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	10	3	13	3	10	13	294
Proposed Project Total	223	95	317	147	191	337	4,238
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-24	-5	-29	-5	-18	-23	-150
Comparison Total	-76	19	-58	31	-138	-108	394
Passenger Car Equivalent (PCE):							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	87	20	107	19	70	89	1,130
Previously Approved Project Total	352	88	440	127	371	498	4,530
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	27	9	36	10	25	35	730
Proposed Project Total	240	101	340	154	206	359	4,674
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-60	-11	-71	-9	-45	-54	-400
Comparison Total	-112	13	-100	27	-165	-139	144

Mr. Adam Rush
City of Banning Public Works
October 4, 2021
Page 7 of 7

CONCLUSION

The City's guidelines identify traffic operations analysis should be required if the proposed project meets the following criteria:

- When either the AM or PM peak hour trip generation on a weekday or weekend is expected to exceed 50 net new vehicles trips from the proposed development.

Although the daily trip generation shows a net increase, the peak hour operations analysis is based on the AM and PM peak hours. Since the trip generation comparison shows the proposed Project is anticipated to generate fewer trips during the peak hours as compared to the currently approved uses, additional traffic operations analysis is not required for this Project based on the City's Guidelines.

Site access recommendations for the Project driveways are shown on Exhibit 3 and are consistent with those recommended in the SPA No. 5.

If you have any questions, please contact me directly at (949) 861-0177.

Respectfully submitted,

URBAN CROSSROADS, INC.



Charlene So, PE
Associate Principal



EXHIBIT 1: PRELIMINARY SITE PLAN



13841-03 TG Letter
AR 012572

AR011366

EXHIBIT 2: COMPARISON OF PROJECT ONLY VOLUMES

Specific Plan Amendment No. 5:



###(##) AM(PM) Peak Hour Intersection Volumes
Average Daily Trips

Proposed Project:

1	2	3	4	5
Sun Lakes Village Dr. & Driveway 1	Sun Lakes Village Dr. & Driveway 2	Sun Lakes Village Dr. & Sun Lakes Bl.	Driveway 3/Country Club Dr. & Sun Lakes Bl.	Driveway 4 & Sun Lakes Bl.
<div> <div>1,050</div> <div> <div>← 10(39)</div> <div>42(16) →</div> </div> <div>1,050</div> </div>	<div> <div>1,050</div> <div> <div>← 10(39)</div> <div>42(16) →</div> </div> <div>1,050</div> </div>	<div> <div>1,400</div> <div> <div>← 18(45)</div> <div>68(35) ←</div> <div>127(87) →</div> </div> <div>1,400</div> </div>	<div> <div>2,550</div> <div> <div>← 62(126)</div> <div>127(105) →</div> <div>0(5) →</div> <div>0(1) →</div> </div> <div>2,550</div> </div>	<div> <div>1,250</div> <div> <div>← 9(8)</div> <div>33(83) →</div> <div>10(7) →</div> </div> <div>1,250</div> </div>
				<div> <div>1,150</div> <div> <div>← 33(85)</div> <div>16(28) →</div> </div> <div>1,150</div> </div>
				<div> <div>650</div> <div> <div>← 27(19)</div> <div>9(5) ←</div> </div> </div>

###(##) AM(PM) Peak Hour Intersection Volumes
Average Daily Trips

EXHIBIT 3: SITE ACCESS RECOMMENDATIONS



1 Sun Lakes Village Dr. & Dwy. 1	2 Sun Lakes Village Dr. & Dwy. 2	3 Sun Lakes Village Dr. & Sun Lakes Bl.	4 Dwy. 3 / County Club Dr. & Sun Lakes Bl.	4 Dwy. 4 & Sun Lakes Bl.

- = Traffic Signal
- = Stop Sign
- = Stop Sign Improvement
- = Existing Lane
- = Lane Improvement
- = Recommended Turn Pocket Length
- = Minimum Turn Pocket Length



urbanroads.com

October 4, 2021

Mr. Kevin Sin
City of Banning
99 E. Ramsey Street
Banning, CA 92220

SUBJECT: BANNING POINT (TPM 38164) TRIP GENERATION ASSESSMENT RESPONSE TO COMMENTS

Dear Mr. Kevin Sin:

This Response to Comments letter has been prepared for the Banning Point (TPM 38164) Trip Generation Assessment (dated June 10, 2021), which is located on the northeast corner of Sun Lake Village Drive and Sun Lakes Boulevard in the City of Banning. A copy of the City's traffic consultant's September 27, 2021 comments are provided in Attachment A.

COMMENT #1

General: Please provide the approved SPA No. 5 traffic study as a reference.

RESPONSE #1

A link to the approved SPA No. 5 has been provided for reference.

COMMENT #2

General: Provide the latest project site plan as a reference.

RESPONSE #2

Exhibit 1 has been updated with the latest site plan.

COMMENT #3

General: Provide an engineer stamp and a signature on the study.

RESPONSE #3

Updated trip generation letter has been stamped by a traffic engineer.

Mr. Kevin Sin
City of Banning
October 4, 2021
Page 2 of 2

COMMENT #4

Page 3: Project Access: Provide peak hour traffic volumes and lane configurations at each project driveway for both SPA No. 5 traffic study and for the proposed project conditions. Also, identify the proposed traffic control at each project driveway intersection.

RESPONSE #4

Exhibit 2 has been added to the updated trip generation letter to include the project only traffic volumes for both SPA No. 5 and proposed Project. Exhibit 3 has been added to show the site access recommendations, which are consistent with SPA No. 5.

COMMENT #5

Exhibit 1: It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.

RESPONSE #5

The site plan has been revised to align Driveway 3 with the existing Country Club Drive – see new Exhibit 1.

COMMENT #6

Exhibit 1: The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

RESPONSE #6

As shown on the site plan, Driveway 4 (the easterly driveway) has been relocated to the west per the City's comment (see Exhibit 1).

If you have any questions, please contact me directly at (949) 861-0177.

Respectfully submitted,
URBAN CROSSROADS, INC.



Charlene So, PE
Associate Principal

ATTACHMENT A
ERSC/PMK COMMENTS, SEPTEMBER 27, 2021



REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Charlene So, Urban Crossroads
Kevin Sin, City of Banning

FROM: Peter Kim, PE, TE, *ERSC/PMK*

DATE: September 27, 2021

SUBJECT: CITY OF BANNING – BANNING POINT (TPM 38164) – TRIP GENERATION ASSESSMENT - PC1 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

General

1. Please provide the approved SPA No. 5 traffic study as a reference.
2. Provide the latest project site plan as a reference.
3. Provide an engineer stamp and a signature on the study.

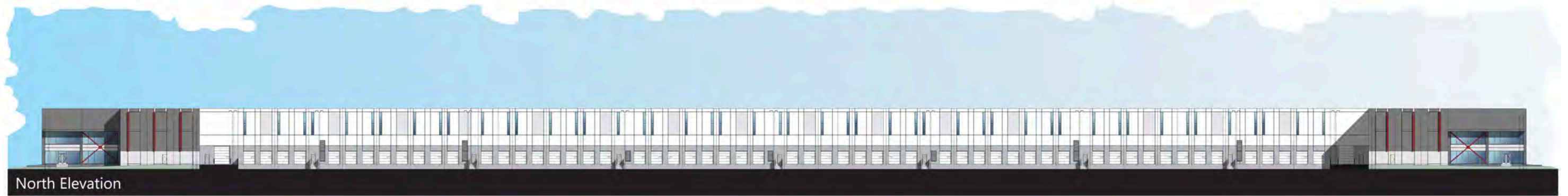
Page 3

1. Project Access: Provide peak hour traffic volumes and lane configurations at each project driveway for both SPA No. 5 traffic study and for the proposed project conditions. Also, identify the proposed traffic control at each project driveway intersection.

Exhibit 1: Preliminary Site Plan

1. It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.
2. The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

Contact me at peterkimpnk@gmail.com or (949) 466-3126 for any questions.



BANNING POINT

CITY OF BANNING, CALIFORNIA

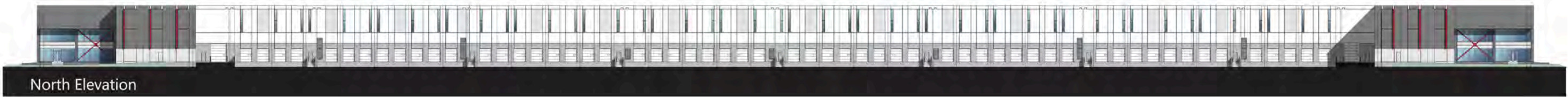
LGE | DESIGNBUILD
AR 012579

Job No. 20394.00

CONCEPTUAL COLORED ELEVATIONS - WAREHOUSE BLDG.

10.05.2021

AR011373



- 1



SHERWIN-WILLIAMS
SW7006
EXTRA WHITE
- 2



SHERWIN-WILLIAMS
SW7071
GRAY SCREEN
- 3



SHERWIN-WILLIAMS
SW7074
SOFTWARE
- 4



SHERWIN-WILLIAMS
SW7076
CYBERSPACE
- 5




SHERWIN-WILLIAMS
SW6886
HEARTTHROB
- 6



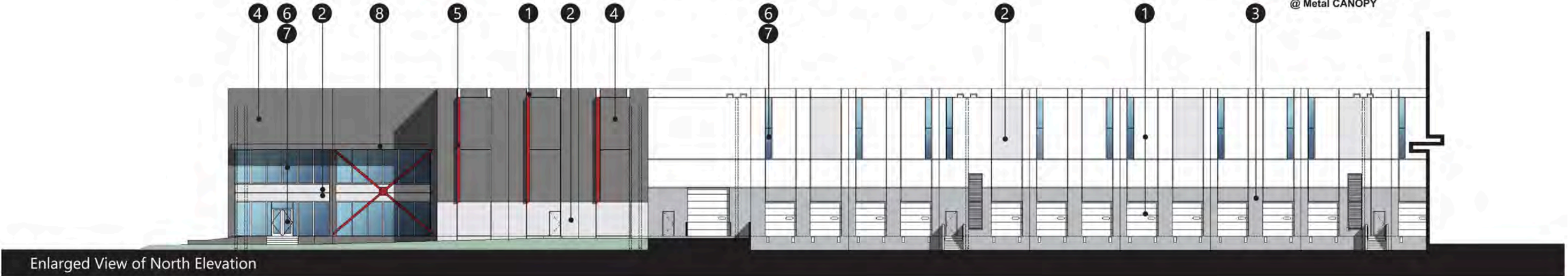
BLUE REFLECTIVE
GLAZING
- 7



CLEAR ANODIZED
MULLIONS
- 8



Sherwin Williams
Acrylic Latex Systems
High Gloss/High performance
in color: SW 7076 CYBERSPACE
@ Metal CANOPY



BANNING POINT

CITY OF BANNING, CALIFORNIA

LGE | DESIGNBUILD

AR 012580

Job No. 20394.00

CONCEPTUAL COLORED ELEVATIONS AND MATERIAL BOARD

10.05.2021

AR011374

HPA

Narrative of changes

Date: October 5, 2021,

To: Lisa Edwards, Senior Planner
City of Banning

From: LGE Project Team

Subject: Banning Point – DR21-7008

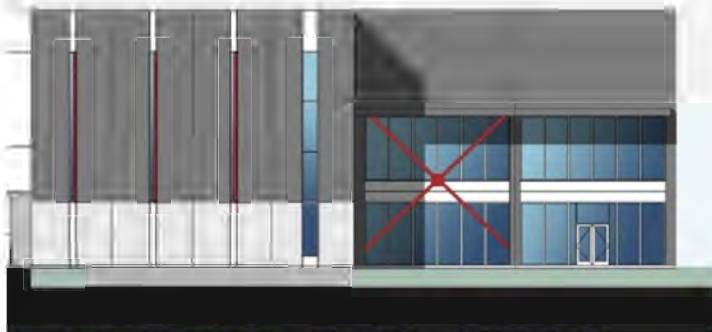
Project #13714

Item Description

- 1) Minor elevation changes at office corner to provide more glazing on the ground level for future office function.

See below for the comparison

PREVIOUS ELEVATION



UDPATED ELEVATION



AR 012581

AR011375

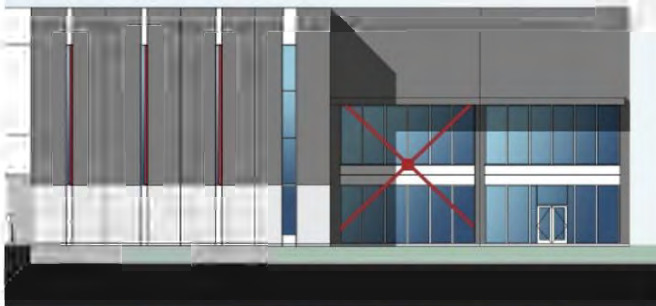
Change List
October 5th, 2021
Page 2

Item **Description**

- 2) Minor elevation changes at NON-office corner to provide more solid facade for racking function

See below for the comparison

PREVIOUS ELEVATION



UDPATED ELEVATION





City of Banning

Community Development Department

NOTICE OF PUBLIC HEARING AND NOTICE OF EXEMPTION FOR CONSIDERATION OF DESIGN REVIEW NO. 21-7008 & TENTATIVE PARCEL MAP NO. 21-4001, A PROPOSED INDUSTRIAL WAREHOUSE BUILDING MEASURING APPROXIMATELY 620,000 SQUARE FEET WHICH INCLUDES 10,000 SQUARE FEET OF OFFICE SPACE AND SIX (6) RETAIL/RESTAURANT BUILDINGS, TOTALING 34,000 SQUARE FEET. THE TENTATIVE PARCEL MAP WILL SUBDIVIDE THE 37-ACRE PARCEL INTO THREE (3) LOTS, FOR FINANCING AND CONVEYANCE PURPOSES, WITHIN THE SUN LAKE VILLAGE NORTH SPECIFIC PLAN AREA. (APN: 419-140-057).

NOTICE IS HEREBY GIVEN of a public hearing before the City of Banning Planning Commission, to be held Tuesday, October 19, 2021, at 6:30 p.m. in the Council Chambers, City Hall, 99 East Ramsey Street, Banning, California, to consider a Notice of Exemption and Design Review No. 21-7008 and Tentative Parcel Map No. 21-4001, a proposed industrial warehouse building measuring approximately 620,000 square feet which includes 10,000 square feet of office space and six (6) retail/restaurant buildings, totaling 34,000 square feet. The tentative parcel map will subdivide the 37-acre parcel into three (3) lots, for financing and conveyance purposes, within the Sun Lake Village North Specific Plan Area. The Community Development Department has determined that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32 - Infill Developments) and has prepared a Notice of Exemption (NOE).

<https://us02web.zoom.us/j/82794878682?pwd=SFUrMGNKQVIQRHMxaTFHMnJIYk92QT09>

Meeting ID: 827 9487 8682

Passcode: 894694

One tap mobile: +16699009128,82794878682#

Dial in: +1 669 900 9128 US

Meeting ID: 827 9487 8682

Find your local number: <https://us02web.zoom.us/j/82794878682?pwd=SFUrMGNKQVIQRHMxaTFHMnJIYk92QT09>

To observe the live meeting through your personal computer, but not participate with video or oral comments, you may use your computer or smart phone to enter the following or click on the link:

<https://banninglive.viebit.com>

Information regarding the Notice of Exemption, Design Review and Tentative Map, can be obtained by contacting the City's Community Development Department, Planning Division at (951) 922-3125, or by going to the City of Banning website at <https://banningca.gov/Archive.aspx?AMID=60&Type=&AMID=>

All parties interested in speaking either in support of or in opposition to this item are invited to attend the hearing by accessing the videoconference or by sending their written comments by email to scalderon@banningca.us or by mail to the Community Development Department, Planning Division, City of Banning at 99 E. Ramsey Street, Banning, California, 92220.

If you challenge any decision regarding the above proposal in court, you may be limited to raising only those issues you or someone else raised in written correspondence delivered to the Planning Commission Recording Secretary prior to, at, or during the time the Planning Commission makes its recommendation on the proposal; or, you or someone else raised at the public hearing or in written correspondence delivered to the hearing body at, or prior to, the hearing (California Government Code, Section 65009).

BY ORDER OF THE COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF BANNING, CALIFORNIA

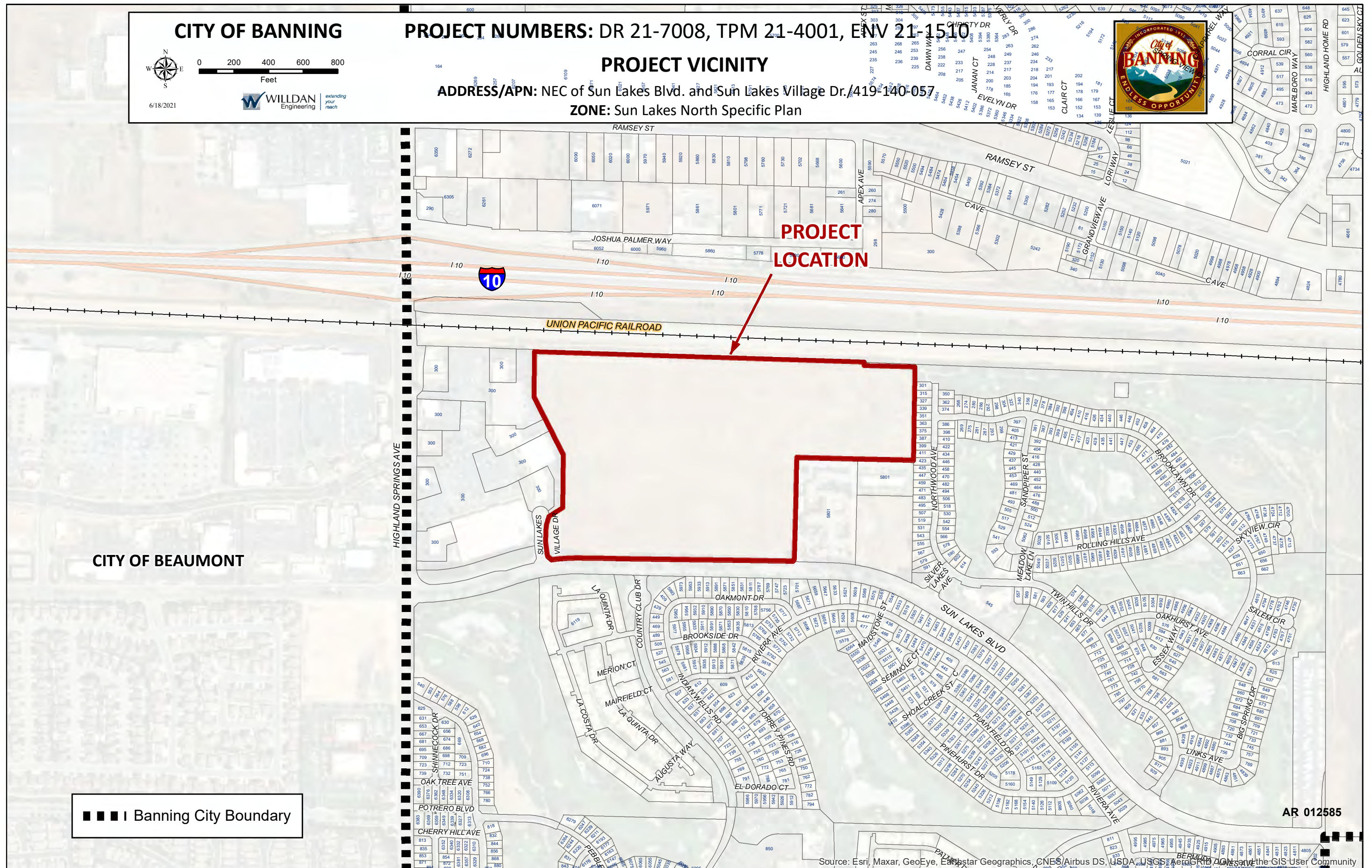
Adam Rush, M.A., AICP
Community Development Director

Dated: October 5, 2021
Publish: October 8, 2021

99 E. Ramsey Street • P.O. Box 998 • Banning, CA 92220-0998 • (951) 922-3100

AR 012584

AR011378





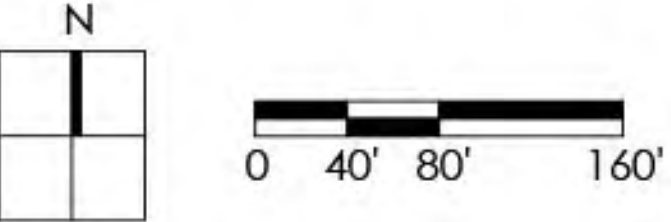
TREES					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	Cercidium 'Desert Museum'	24" Box	85	L	Mult
	Blue Palo Verde	36" Box	3		
	Chilopsis linearis	24" Box	21	L	Mult
	Desert Willow	36" Box	2		
	Chitalpa tashkentensis	24" Box	16	L	Standard
	Chitalpa	36" Box	13		
	Koelerutaria latifolia	24" Box	4	M	Mult
	Chinese Flame Tree	36" Box	8		
	Lagerstroemia l. 'Muskogee'	24" Box	7	M	Mult
	Crape Myrtle				
	Pinus eldarica	24" Box	5	L	Standard
	Afghan Pine	36" Box	9		
	Pistacia chinensis	24" Box	39	L	Standard
	Chinese Pistache	36" Box	8		
	Prosopis chilensis	24" Box	57	M	Mult
	Chican Mesquite				
	Schinus molle	24" Box	4	L	Mult
	California Pepper	36" Box	10		
	Tristania conferta	15 Gal	29	M	Standard
	Brisbane Box				

SHRUBS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	Baccharis p. 'Centenaria'	5 Gal	4' OC	L	Hedge
	Coyote Bush				
	Callispermum 'Little John'	5 Gal	3' OC	L	Foreground
	Dwarf Bottle Brush				
	Delos elaeagnifolia	5 Gal	3' OC	M	Flowering Accent
	Portulaca				
	Leucodermis leucodermis	5 Gal	3' OC	M	Flowering Accent
	Lion's Tail				
	Liquidambar l. Texanum	5 Gal	3' OC	M	Hedge
	Texas Privet				
	Muhlenbergia rigens	5 Gal	4' OC	M	Grass
	Deer Grass				
	Rosmarinus o. 'Tuscan Blue'	5 Gal	3' OC	L	Hedge
	Rosemary				
	Salvia o. 'Allen Chickering'	5 Gal	4' OC	L	Flowering Accent
	Allen Chickering Sage				
	Salvia greggii	5 Gal	3' OC	L	Flowering Accent
	Autumn Sage				
	Salvia leucantha	5 Gal	3' OC	L	Foreground
	Mexican Sage				
	Westringia l. 'Grey Box'	5 Gal	3' OC	L	Foreground
	Dwarf Coast Rosemary				
	Westringia triflora	5 Gal	5' OC	L	Hedge
	Coast Rosemary				

ACCENTS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	Agave attenuata	5 Gal	3' OC	L	
	Agave				
	Agave 'Blue Glow'	5 Gal	3' OC	L	Foreground
	Blue Glow Agave				
	Agave striata	1 Gal	3' OC	L	Foreground
	Coral Aloe				
	Hesperaloe parviflora	5 Gal	3' OC	L	Foreground
	Red Yucca				

GROUND COVER					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	Acacia redolens 'Low Boy'	1 Gal	6' O.C.	L	Foreground
	Dwarf Acacia				
	Baccharis p. 'Pigeon Point'	1 Gal	6' O.C.	L	No Shear
	Dwarf Coyote Bush				
	Gazania 'Yellow Mtn'	4" Pots	12" O.C.	M	No Shear
	Yellow Gazania				
	Carlisa m. 'Green Carpet'	1 Gal	36" O.C.	M	No Shear
	Prostrate Natal Plum				
	Trachelospermum jasminoides	1 Gal	24" O.C.	M	Foreground
	Star Jasmine				
	Lantana 'Gold Mound'	1 Gal	36" O.C.	L	Foreground
	Yellow Lantana				
	Lonicera j. 'Halliana'	1 Gal	48" O.C.	L	Foreground
	Hall's Honeysuckle				
	Rosmarinus o. 'Huntington Carpet'	1 Gal	48" O.C.	L	Foreground
	Prostrate Rosemary				

Landscape Area Calculations
Parking Lot Landscape Area 88,745 sf
Planting areas 120,555
Total Landscape Area 217,600 sf



Banning Point

21-021
04.20.21
10.06.21

Banning, California



HUNTER LANDSCAPE

711 FEE ANA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408

**MEMORANDUM
CITY OF BANNING**

DATE: October 6, 2021
TO: Adam Rush, Community Development Director
FROM: Kevin Sin, Senior Civil Engineer
Luis Cardenas, Senior Civil Engineer
SUBJECT: **Engineering Conditions of Approval for DR 21-7008
(NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)**



The Department of Public Works recommends the Conditions of Approval listed herein for the abovementioned project. Unless stated otherwise, all conditions shall be completed by the applicant at no cost to any government agency.

The Applicant may contact the Engineering Division at (951) 922-3130 for compliance with the following conditions:

A. General Requirements

1. A Public Works Permit shall be required prior to commencement of any work within the public right-of-way. The contractor working within the public right-of-way shall submit proof of a Class "A" State Contractor's License, City of Banning Business License, and Liability Insurance. Any existing public improvements, or public improvements not accepted by the City that are damaged during construction shall be removed and replaced as determined by the City Engineer or his/her representative.
2. Prior to the issuance of any grading, construction, or public works permit by the City, the applicant shall obtain any necessary clearances and/or permits from the following agencies:
 - Fire Marshal (access)
 - Public Works Department (grading permits, street improvement permits)
 - Riverside County Flood Control & Water Conservation District (storm drain)
 - California Regional Water Quality Control Board Colorado River Basin (RWQCB)
 - South Coast Air Quality Management District (SCAQMD)

The applicant is responsible for meeting all requirements of permits and/or clearances from the above listed agencies. When the requirements include approval of improvement plans, the applicant shall furnish proof of such approvals when submitting improvements plans to the City.

3. The following improvement plans shall be prepared by a Civil Engineer licensed by the State of California and submitted to the Engineering Division for review and approval. A separate set of plans shall be prepared for each line item listed below. Unless otherwise authorized in writing by the City Engineer, the plans shall utilize the minimum scale specified and shall be drawn on 24" x 36" Mylar film. Plans may be prepared at a larger scale if additional detail or plan clarity is desired (Note: the applicant may be required to prepare other improvement plans not listed here pursuant to improvements required by other agencies and utility purveyors):

- | | |
|---|---------------------|
| a. Rough Grading Plans | 1" = 40' horizontal |
| (All Conditions of Approval shall be reproduced on last sheet of set) | |
| b. Haul Route Plans | 1" = 40' horizontal |
| c. Clearing Plans | 1" = 50' horizontal |
| (Include construction fencing plan) | |
| d. Erosion Control & SWPPP, WQMP | 1" = 40' Horizontal |
| (Note: a, b, c & d shall be reviewed and approved concurrently) | |
| e. Storm Drain Plans | 1" = 40' Horizontal |
| f. Street Improvement Plans | 1" = 40' Horizontal |
| | 1" = 4' Vertical |
| g. Precise Grading Plans | 1" = 40' Horizontal |
| h. Landscaping Plans | 1" = 20 Horizontal |
| i. Water Improvement Plans | 1" = 40' Horizontal |
| | 1" = 4' Vertical |
| j. Sewer Improvement Plans | 1" = 40' Horizontal |
| | 1" = 4' Vertical |

Other engineered improvement plans prepared for City approval that are not listed herein shall be prepared in formats approved by the City Engineer prior to commencing plan preparation.

All off-site plan and profile, street improvement plans and signing & striping plans shall show all existing improvements for a distance of at least 200-feet beyond the project limits, or at a distance sufficient to show any required design transitions.

A small index map shall be included on the title sheet of each set of plans, showing the overall view of the entire work area.

4. Upon completion of construction, the Developer shall furnish the City with reproducible record drawings on Mylar film of all improvement plans that were approved by the City Engineer. Each sheet shall be clearly marked "As-Built" or "As-Constructed" and shall be stamped and signed by the engineer or surveyor certifying the accuracy and completeness of the drawings. The applicant shall have all AutoCAD files submitted to the City, revised to reflect the "As-Built" conditions.

B. Street Improvements/Right-of-Way

5. Construct right-of-way improvements (driveway approach, sidewalk, parkway, raised median, access ramp, street lighting, etc.) fronting the site per City of Banning Standard Drawings. Street lights shall be installed offset of the existing street lights.
6. Installation of a traffic signal at the intersection of Sun Lakes Boulevard, future Driveway 3 (as shown in the TIA) and Country Club Drive. Project applicant shall reach out to the Sun Lakes Country Club staff to discuss impacts to their access.

7. Provide paved golf cart access adjacent to the sidewalk through the property and at the proposed traffic signal entrance.
8. Construct street improvements as identified by the project's traffic impact analysis (TIA).
9. The City and Developer are to enter into a Public Improvement Agreement to guarantee the construction of the public improvements as listed in the Conditions of Approval and as shown on the approved plans. The applicant shall work with the City Attorney's Office to execute the Agreement and pay all related legal processing fees.
10. All street improvement designs shall provide pavement and lane transitions per City of Banning and Caltrans standards for transition to existing street sections.
11. Any public improvements damaged during the course of construction shall be replaced to the satisfaction of the City Engineer, or his/her designee.
12. The applicant shall plant and perpetually maintain trees, shrubs, and ground cover placed in the parkway, slopes adjacent to public right-of-ways constructed in connection with the project. This includes providing irrigation and the clearing of debris and weed removal. The applicant shall be required to enter into a Landscape Maintenance Agreement for the perpetual maintenance of landscaping within the public right-of-way fronting the project site.
13. All required public improvements for the project shall be completed, tested, and approved by the Engineering Division prior to issuance of any Certificate of Occupancy.

C. Grading and Drainage

14. Submit a Drainage Study with hydrologic and hydraulic analysis for developed and undeveloped (existing) conditions to the Engineering Division for review and approval. The study and analysis shall be prepared by a civil engineer licensed by the State of California. Drainage design shall be in accordance with Banning Master Drainage Plan adopted by Riverside County Flood Control and Water Conservation District (RCFCD), RCFCD Hydrology Manual, and standard plans and specifications. The 10-year storm flow shall be contained within the street curbs, and the 100-year storm shall be contained within the street right-of-way; when this criteria is exceeded, additional drainage facilities shall be designed and constructed.
15. At a minimum, all development will make provisions to store runoff from rainfall events up to and including the one-hundred three-hour during event. Post-development peak urban runoff discharge rates shall not exceed pre-development peak urban runoff discharge rates.
16. Prior to issuance of any building permit, the applicant shall install trash filters in all catch basins adjacent to the site and/or will be constructed as part of the storm drain improvements for this development. The trash filters shall comply with the requirements of the Trash Amendment as amended and approved in accordance with California Regional Water Quality Control Board Colorado River Basin Region Order No. R7-2013-0011.
17. If the site is located in a Flood Area as identified in Flood Insurance Rate Map dated August 28, 2008 the developer is responsible for providing a certification by a registered professional engineer or architect demonstrating that encroachments shall not result in any increase in flood levels during the occurrence of the base flood discharge.
18. The project grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained for the release of concentrated or diverted

storm flows. The project shall accept and convey storm flows from the adjacent property to the north.

19. The applicant shall comply with Chapter 13.24 “Stormwater Management Systems” of the Banning Municipal Code (BMC) and Title 18 “Grading, Erosion and Sediment Control” of the California Building Code related to excavation and grading; and, the State Water Resources Control Board’s orders, rules and regulations.

For construction activities including clearing, grading or excavation of land that disturbs one (1) acre or more of land, or that disturbs less than one (1) acre of land, but which is a part of a construction project that encompasses more than one (1) acre of land, the applicant shall be required to submit a Storm Water Pollution Protection Plan (SWPPP) and file a Notice of Intent (NOI) with the Regional Water Quality Control Board.

The applicant shall ensure that the required SWPPP is available for inspection at the project site at all times through and including acceptance of all improvements by the City.

The applicant’s SWPPP shall include provisions for all of the following Best Management Practices (“BMPs”):

- Temporary Soil Stabilization (erosion control).
- Temporary Sediment Control.
- Wind Erosion Control.
- Tracking Control.
- Non-Storm Water Management.
- Waste Management and Materials Pollution Control.

All erosion and sediment control BMPs proposed by the applicant shall be designed using the CASQA BMP handbook and approved by the City Engineer prior to any onsite or offsite grading, pursuant to this project.

The approved SWPPP and BMPs shall remain in effect for the entire duration of project construction until all improvements are completed and accepted by the City.

20. Prior to issuance of any grading or building permit, a Project-Specific Water Quality Management Plan (WQMP) shall be reviewed and approved in accordance with California Regional Water Quality Control Board Colorado River Basin Region Order No. R7-2013-0011.
21. Prior to the issuance of any building permit(s), a precise grading plan shall be submitted to the City Engineer for review and approval. A grading permit shall be obtained prior to commencement of any grading activity.
22. Grading and excavations in the public right-of-way shall be supplemented with a soils and geology report prepared by a professional engineer or geologist licensed by the State of California.
23. Prior to the issuance of a building permit, the applicant shall provide a lot pad certification stamped and signed by a qualified civil engineer or land surveyor. Pad certification shall list the pad elevation as shown on the approved grading plan, the actual pad elevation and the

difference between the two, if any. Such pad certification shall also list the relative compaction of the pad soil.

D. Traffic

24. Prior to the issuance of a grading permit or building permit, the applicant shall submit and obtain approval in writing from the Fire Marshall for the plans for all public or private access drives or streets. The plans shall include plan and sectional views and indicate the grade and width of the access road measured flow-line to flow-line. When a dead-end access exceeds 150 feet or when otherwise required, a clearly marked fire apparatus access turnaround must be provided and approved by the Fire Marshall. Applicable covenant, conditions or restrictions or other approved documents shall contain provisions which prohibit obstructions such as speed bumps/humps, control gates or other modifications within said easement or access road unless prior approval of the Fire Marshall is granted.
25. Driveway grades shall not exceed eight percent unless approved by the City Engineer.
26. Access drives to the public right-of-way shall be restricted to those approved by the City Engineer as shown on the approved plans.
27. Prior to the issuance of any certificate of occupancy, all fire hydrants shall have a blue reflective pavement marker indicating the hydrant location on the street/access driveway as approved by the Fire Marshall, and must be maintained in good condition by the property owner until the street is accepted for maintenance.
28. Prior to the issuance of a grading permit or building permit, the applicant shall conduct a Traffic Impact Analysis and submit the report to the Engineering Division for review and approval. All mitigation identified in the Traffic Impact Analysis shall be implemented by the applicant to the satisfaction of the City Engineer.

E. Trash/Recycling

29. Construction debris shall be disposed of at a certified recycling site. It is the responsibility of the developer to contact the City's franchised solid waste hauler, Waste Management of the Inland Valley, at 1-800-423-9986 for disposal of construction debris.
30. The developer shall participate in the City's recycling and diversion programs by providing a solid waste enclosure to accommodate necessary solid waste containers.
31. All new development projects including, but not limited to, industrial and business buildings and facilities, as well as, multi-family complexes shall provide a solid waste enclosure to accommodate trash, recycle and organics waste bins and/or containers. Solid waste enclosures for multiple tenant properties, such as a shopping center, must design the enclosure to accommodate all waste containers of the property.
32. Solid waste enclosures shall be located on the site to be serviced.
33. The enclosure shall be designed for the exclusive use of housing solid waste containers including trash, recyclable and organics materials.
34. Enclosures Design Criteria:
 - a. The size and dimensions of the trash enclosure shall be based on the required number and size of containers at a minimum accommodating one (1) container each for trash, recyclables and organics materials.

- b. Enclosure shall be architecturally compatible with the primary building on site to provide a coordinated design.
- c. Exterior materials and colors of the enclosure shall match the building walls.
- d. Chain link fencing with or without/plastic slats is prohibited.
- e. Enclosure shall have solid metal or wood gates with latches that can be secured in an open or closed position.
- f. Enclosures shall be constructed in a permanent manner.
- g. Exterior must be fully enclosed with solid roofing to prevent rainfall from entering the enclosure and to prevent wind dispersal, as well as, offsite transport of trash and recycling.
- h. Provide the minimum clearance for collector and user accessibility.
- i. City Engineer approval shall be obtained in writing prior to the construction of any solid waste enclosure.

F. Water

- 34. Submit water improvement plans to the Public Works Department along with anticipated peak water demands and hydraulic analysis to justify pipe sizes. Pipes shall be ductile iron, wrapped in V-Bio polyethylene. All water services 2" and smaller shall use plastic-coated copper tubing.
- 35. Separate irrigation meters will be required for outdoor use.
- 36. All commercial, industrial, and irrigation water services shall have Reduced Pressure Principle Backflow Preventors. RP Backflow Preventors shall be of a model approved by USC.
- 37. On-site fire hydrants shall be part of a privately-owned and maintained fire protection system. Private fire hydrants shall be painted safety red, to differentiate from publicly-owned fire hydrants which are typically yellow.
- 38. Because of the project's location at a pressure zone boundary, an above-ground pressure regulating station may be required, pending review of the water improvement plans by the City Engineer.

G. Recycled Water

- 39. Plans for a purple-pipe non-potable irrigation system shall be designed and submitted to the Public Works Department. Pipes shall be ductile iron, wrapped in purple V-Bio polyethylene. All water services 2" and smaller shall use plastic-coated copper tubing. Plans should include a signage plan typical of a non-potable irrigation system.
- 40. An interim connection between the potable and non-potable systems shall be installed by way of a single backflow preventor, until such a time as the City's non-potable backbone system is extended west along Sun Lakes Blvd.

H. Wastewater

- 41. A sewer improvement plan shall be prepared and submitted to the Public Works Department, extending the public sewer from Sun Lakes Blvd. Sewer main material shall be PVC SDR

26. Sewer system design shall avoid placing manholes in low spots, or connecting storm water drainage facilities to the sewer system.

42. When available, estimated sewer discharge quantities and quality shall be submitted to the Public Works Department for review. Depending on the nature of the discharge, grease interceptor(s) may be required.

I. Fees

43. Plan check fees for professional report review (geotechnical, drainage, WQMP, etc.), and all improvement plans review, shall be paid at the time of submittal of said documents for review and approval in accordance with the fee schedule in effect at the time of submittal.
44. Public Works Inspection fees shall be paid prior to issuance of any permits in accordance with the fee schedule in effect at time of time of scheduling.
45. A plan storage fee shall be paid for any engineering plans that may be required prior to issuance of certificate of occupancy in accordance with the fee schedule in effect at the time the fee is paid.
46. Water, Sewer, and Non-potable impact fees shall be paid prior to issuance of Building permit. Water meter and water meter installation fees shall be due prior to meter release.

J. Final Parcel Map

47. Prior to approval of the Final Map, the applicant shall construct on-site and off-site improvements required for the development of the property in accordance with the approved plans and satisfy its obligations for same, or shall furnish a fully secured and executed Subdivision Improvement Agreement on terms agreed to by the Parties guaranteeing the construction of such improvements and the satisfaction of its obligations for same, or shall agree to any combination thereof. For off-site improvements, the procedures and requirements of Government Code Section 66462.5 shall apply, including the potential acquisition of those rights by the City or waiver of the City's requirement to obtain those rights.
48. Security for the construction of public improvements in accordance with Government Code Section 66499 shall be as follows:
- | | |
|---------------------------|------------------------|
| Faithful Performance Bond | 100% of estimated cost |
| Labor and Material Bond | 100% of estimated cost |
| Monumentation Bond | \$5,000.00 |
49. Securities for the public improvements shall be on file with the City Clerk prior to scheduling the final map for approval by City Council. Unit prices for bonding estimates shall be those specified or approved by the City Engineer.
50. Revisions to the tentative map during plan check including, but not limited to, lot line alignments, easements, improvement plan revisions, and similar minor changes that are in substantial compliance with the tentative map, or associated conditions of approval, shall be administratively approved through the plan check process with the mutual consent and approval of the Developer, the Community Development Director and City Engineer. Final maps shall be amended in accordance with the Subdivision Map Act.

51. Prior to approval of any final map the applicant shall identify and include in its improvement plans those routine structural and non-structural Best Management Practices (BMP's).
52. Submit a copy of the title report, closure calculations, and any separate instruments or necessary right-of-way documents to the Engineering Division prior to final map approval.
53. An original Mylar of the final map (after recordation) shall be provided to the City for the record files.
54. Public improvements shall be completed and accepted by City of Banning prior to release of Faithful Performance Bond and Labor and Material Bond for such improvements. Faithful Performance Bond for applicable public improvements shall be reduced to 10% once City accepts improvements into maintenance period. Final 10% to serve as the maintenance bond for the 1-year maintenance period.
55. A record of all street centerline monument ties shall be submitted to the Engineering Division upon completion of improvements or prior to release of Monumentation Bond.

From: Adam Rush
Sent: Monday, October 4, 2021 4:14 PM PDT
To: Sandra Calderon; Mark De Manincor; Lisa Edwards; Emery Papp
Subject: RE: newspaper notices due tomorrow 10/5
Attachments: image001.jpg
Importance: High

Thank you for the reminder!

We should have the following notices:

1. GPA 21-2504_Housing Element
2. DR 21-7002_TTM 37898 APN 534-272-009
3. DR 21-7011_The SJ Grid Battery Energy Storage Sys_APN 541-220-024
4. DR 21-7008_Banning Point APN 419-140-057

Please let me know if you require assistance in putting these notices together.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Monday, October 4, 2021 4:09 PM
To: Adam Rush <arush@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Subject: newspaper notices due tomorrow 10/5

Good afternoon,
Just a reminder that the newspaper notices are due tomorrow before 10am for the Special PC meeting on Tuesday, October 19th.

Thanks,

AR 014791

COB_2047

AR011389

#12244

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014792**COB_2048****AR011390**

From: Sandra Calderon
Sent: Monday, October 4, 2021 4:51 PM PDT
To: Mark De Manincor; Adam Rush; Lisa Edwards; Emery Papp
Subject: RE: newspaper notices due tomorrow 10/5
Attachments: image002.png, image003.jpg

Thanks Mark! I made minor changes to the DR & CUP numbers on the heading.

From: Mark De Manincor <mdemanincor@banningca.gov>
Sent: Monday, October 4, 2021 4:35 PM
To: Adam Rush <arush@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Subject: Re: newspaper notices due tomorrow 10/5

Hi Adam, Sandra,
Please find the attached Public Hearing Notice for your review and publishing.
Thanks,

Mark de Manincor

Contract Planner

Planning

City of Banning
Direct Line: 951-922-3123

Direct Fax: 951-922-3128

mdemanincor@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.ci.banning.ca.us



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Sent: Monday, October 4, 2021 4:14 PM
To: Sandra Calderon <scalderon@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Subject: RE: newspaper notices due tomorrow 10/5

AR 014793

COB_2049

AR011391

Thank you for the reminder!

We should have the following notices:

1. GPA 21-2504_Housing Element
2. DR 21-7002_TTM 37898 APN 534-272-009
3. DR 21-7011_The SJ Grid Battery Energy Storage Sys_APN 541-220-024
4. DR 21-7008_Banning Point APN 419-140-057

Please let me know if you require assistance in putting these notices together.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

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Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
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Good afternoon,
Just a reminder that the newspaper notices are due tomorrow before 10am for the Special PC meeting on Tuesday, October 19th.

Thanks,

AR 014794

COB_2050

AR011392

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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AR 014795

COB_2051

AR011393

From: Mark De Manincor
Sent: Monday, October 4, 2021 7:17 PM PDT
To: Sandra Calderon
Subject: Re: newspaper notices due tomorrow 10/5
Attachments: image002.png, image003.jpg

Thank you, Sandra

Mark de Manincor
Contract Planner
Planning
City of Banning
Direct Line: 951-922-3123
Direct Fax: 951-922-3128
mdemanincor@banningca.gov
99 E. Ramsey Street
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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Monday, October 4, 2021 4:51 PM
To: Mark De Manincor <mdemanincor@banningca.gov>; Adam Rush <arush@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Subject: RE: newspaper notices due tomorrow 10/5

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Sent: Monday, October 4, 2021 4:35 PM
To: Adam Rush <arush@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>
Subject: Re: newspaper notices due tomorrow 10/5

Hi Adam, Sandra,
Please find the attached Public Hearing Notice for your review and publishing.
Thanks,

AR 014796

COB_2052

AR011394

Mark de Manincor
Contract Planner
Planning
City of Banning
Direct Line: 951-922-3123
Direct Fax: 951-922-3128
mdemanincor@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.ci.banning.ca.us



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Please let me know if you require assistance in putting these notices together.

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Adam B. Rush, M.A., AICP
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AR 014797

COB_2053

AR011395

From: Sandra Calderon <scalderon@banningca.gov>

Sent: Monday, October 4, 2021 4:09 PM

To: Adam Rush <arush@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Emery Papp <epapp@banningca.gov>

Subject: newspaper notices due tomorrow 10/5

Good afternoon,

Just a reminder that the newspaper notices are due tomorrow before 10am for the Special PC meeting on Tuesday, October 19th.

Thanks,

Sandra Calderon

Development Project Coordinator

Community Development Department

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014798

COB_2054

AR011396

From: Pam Steele
Sent: Tuesday, October 5, 2021 5:25 PM PDT
To: Lisa Edwards; Adam Rush
CC: Alex Steele
Subject: Banning Point - environmental review

Lisa and Adam,

Can you please let us know when we will get your final comments on the environmental review document?

Thank you,

Pam

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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office: 951-787-9222 extension: 8360, cell: [REDACTED]

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014799

COB_1337

AR011397

From: Pam Steele
Sent: Tuesday, October 5, 2021 5:24 PM PDT
To: Lisa Edwards; Adam Rush
CC: Alex Steele
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
Attachments: 13841-03 TG Letter.pdf, 13841-04 Response.pdf

Lisa and Adam,

Here is the updated Traffic Analysis and VMT letter. Updated plans will come to you tomorrow.

Please let us know if you need anything else.

Thank you,

Pam

----- Forwarded message -----

From: Charlene So <cs@urbanxroads.com>
Date: Mon, Oct 4, 2021 at 2:22 PM
Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
To: Alex Steele <alexs@migcom.com>
Cc: Pam Steele <pams@migcom.com>

Hi Alex,

Attached is the updated trip generation and our responses to the City's comments. Let me know if you have any questions. Thank you!

Here is the link to the SPA No. 5 Traffic Study requested by the City:
<https://urbanxroads.egnyte.com/dl/jYMaWQH9W7>

Regards,

CHARLENE SO, PE

Associate Principal

Privacy Mobile

urbanxroads.com

AR 014800

COB_2055

AR011398

From: Alex Steele <alexs@migcom.com>
Sent: Monday, October 4, 2021 9:52 AM
To: Charlene So <cs@urbanxroads.com>
Cc: Pam Steele <pams@migcom.com>
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project
Banning CA 92220

Charlene,

See attached.

Alex Steele

Senior Associate Planner



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your-email@migcom.com
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----- Forwarded message -----

From: Pam Steele <pams@migcom.com>
Date: Sat, Oct 2, 2021 at 8:33 AM
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project
Banning CA 92220
To: Sha Liu Mahoney <sha@hparchs.com>, Alex Steele <alexs@migcom.com>

AR 014801

COB_2056

AR011399

Sha,

Following up on the email I JUST sent (sorry) - is this one good to send to the traffic consultant?

Pam

----- Forwarded message -----

From: **Yunxuan Gou** <yunxuan@hparchs.com>

Date: Fri, Oct 1, 2021 at 5:58 PM

Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project
Banning CA 92220

To: Sha Liu Mahoney <sha@hparchs.com>, Jagger Everett <jaggere@creationequity.com>, Grant Kingdon <grantk@creationequity.com>, Blake Wells <BlakeW@lgedesignbuild.com>, grantb@lgedesignbuild.com <grantb@lgedesignbuild.com>, Mark S. Cone <markc@lgedesigngroup.com>, Ben McRae <BenM@lgedesigngroup.com>, Jeff Potter <Jeff@thieneseng.com>, Chad Williams <Chad@aircontrolsystems.net>, Randy Fehlman <RandyF@greggelectric.com>, John Gaglio <JohnG@greggelectric.com>, karl@johnsonplumbing.com <karl@johnsonplumbing.com>, genep@lgedesignbuild.com <genep@lgedesignbuild.com>, Tom Hayes <tomh@hunterlandscape.net>, Rafik Gerges <rgerges@hsaassociates.com>, Mahes Kumar Thiagarajan <mahes@hsaassociates.com>
Cc: Joey Bravo <jbravo@aircontrolsystems.net>, Austin.Sullivan@aerofire.com <Austin.Sullivan@aerofire.com>, Matt Daoust <mattd@lgedesignbuild.com>, Pam Steele <pams@migcom.com>, Mahes Kumar Thiagarajan <mahes@hsaassociates.com>, Tan Tran <tan@hsaassociates.com>, Gene Plum <genep@lgedesignbuild.com>

Team,

Please see attached updated site plan for your use and also PDFs per request from Gene

- Updated the South truck yard entry per civil background
- Updated SE parking area entry per civil
- Progress elevation and floor plan sheets
-

Let us know if any question.

AR 014802

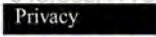
COB_2057

AR011400

Thanks,

Xuan

Yunxuan Guo, LEED AP BD+C | HPA, Inc.

18831 Bardeen Avenue, Suite 100
Irvine, CA 92612
949.862.2127 direct
949.863.1720 main
Privacy  call
www.hparchs.com

From: Gene Plum <genep@lgedesignbuild.com>
Sent: Friday, October 1, 2021 11:08 AM
To: Yunxuan Gou <yunxuan@hparchs.com>; Sha Liu Mahoney <sha@hparchs.com>
Cc: Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; Grant Blunt <grantb@lgedesignbuild.com>; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Pam Steele <pams@migcom.com>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Joey Bravo <jbravo@aircontrolsystems.net>; Matt Daoust <mattd@lgedesignbuild.com>; Tan Tran <tan@hsaassociates.com>
Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

Can you please send us PDF files of these documents ?

Thank You,

Gene

AR 014803

COB_2058

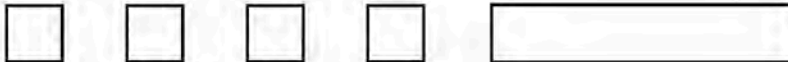
AR011401



Gene Plum
Senior Estimator

O: 480.966.4001
M: [REDACTED]
D: 602.786.7835

1200 N. 52nd St., Phoenix, AZ 85008



REG 101563

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From: Pam Steele <pams@migcom.com>
Sent: Thursday, September 30, 2021 9:32 AM
To: Yunxuan Gou <yunxuan@hparchs.com>
Cc: Sha Liu Mahoney <sha@hparchs.com>; Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; Grant Blunt <grantb@lgedesignbuild.com>; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Joey Bravo <jbravo@aircontrolsystems.net>; Austin.Sullivan@aerofire.com; Matt Daoust <mattd@lgedesignbuild.com>; Tan Tran <tan@hsaassociates.com>; Gene Plum <genep@lgedesignbuild.com>
Subject: Re: Banning NEC Highland Springs Ave & Sun Lakes Blvd

Please send PDFs when you have a minute.

Thanks,

AR 014804

COB_2059

AR011402

On Wed, Sep 29, 2021 at 7:33 PM Yunxuan Gou <yunxuan@hparchs.com> wrote:

Team,

Please see attached latest background for your use

- Floor plan & elevation with the louvers/ drain locations/ adjust panel height
- There will be minor revisions on the site plan will be following up soon

Let us know if any questions.

Thanks,

Xuan

Yunxuan Guo, LEED AP BD+C | HPA, Inc.

18831 Bardeen Avenue, Suite 100
Irvine, CA 92612
949.862.2127 direct
949.863.1770 main
Privacy Cell
www.hparchs.com

From: Sha Liu Mahoney <sha@hparchs.com>

Sent: Thursday, September 16, 2021 6:52 PM

To: Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; grantb@lgedesignbuild.com; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>

Cc: Joey Bravo <jbravo@aircontrolsystems.net>; Austin.Sullivan@aerofire.com; Matt Daoust <matt@lgedesignbuild.com>; Pam Steele <pams@migcom.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Tan Tran <tan@hsaassociates.com>; Yunxuan Gou

AR 014805

COB_2060

AR011403

<yunxuan@hparchs.com>; Gene Plum <genep@lgedesignbuild.com>

Subject: Banning NEC Highland Springs Ave & Sun Lakes Blvd

Hi all,

Following up on the kick off meeting, please see attached meeting notes and updated CAD base for your use. Please note the CAD file are only site plan and floor plan, we are working on elevation for minor revision to make it more functional for the future office. Once elevation is revised and approved, we will distribute the CAD.

Let us know if you have questions.

Thank you,

Sha Liu Mahoney | HPA, Inc.

18831 Bardeen Avenue, Suite 100
Irvine, CA 92612

Privacy Mobile (primary)

949.862.2108 Direct

949.863.1770 main

www.hparchs.com

--

Pam Steele

Principal

AR 014806

COB_2061

AR011404

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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AR 014807

COB_2062

AR011405

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--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014808

COB_2063

AR011406

From: Adam Rush
Sent: Tuesday, October 5, 2021 6:17 PM PDT
To: 'Pam Steele'; Lisa Edwards
CC: alexs@migcom.com; Emery Papp
Subject: RE: Banning Point - environmental review
Attachments: image001.jpg
Importance: High

Good Evening Pam,

The review is complete and the comments came in only 2-minutes before this email.

Let me review and I'll send over to you ASAP.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Pam Steele <pams@migcom.com>
Sent: Tuesday, October 5, 2021 5:25 PM
To: Lisa Edwards <ledwards@banningca.gov>; Adam Rush <arush@banningca.gov>
Cc: alexs@migcom.com
Subject: Banning Point - environmental review

Lisa and Adam,

Can you please let us know when we will get your final comments on the environmental review document?

Thank you,

Pam

--

Pam Steele
Principal

AR 014809

COB_2064

AR011407

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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Riverside, California 92507 | USA

office: 951-787-9222 extension: 8360, cell: [REDACTED]

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014810

COB_2065

AR011408

From: Adam Rush
Sent: Tuesday, October 5, 2021 6:35 PM PDT
To: Joshua Monzon; Kevin Sin
CC: Arturo Vela; Lisa Edwards; Sandra Calderon
Subject: FW: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
Attachments: 13841-03 TG Letter.pdf, 13841-04 Response.pdf, image001.jpg
Importance: High

Joshua,

Enclosed herein is a resubmittal of the updated and revised TIA associated with Design Review (DR) 21-7008 (*Banning Point*).

I've saved a copy of these reports in the following file path:

[\\ragnarok\SharePoint](#) Documents\Community Development - Planning Documents\0 PROJECTS\Design Review\2021\DR 21-7008_Banning Point APN 419-140-057\Traffic Impact Analysis

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [Privacy](#)
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Pam Steele <pams@migcom.com>
Sent: Tuesday, October 5, 2021 5:24 PM
To: Lisa Edwards <ledwards@banningca.gov>; Adam Rush <arush@banningca.gov>
Cc: alexs@migcom.com
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

Lisa and Adam,

Here is the updated Traffic Analysis and VMT letter. Updated plans will come to you tomorrow.

Please let us know if you need anything else.

AR 014811

COB_2066

AR011409

Thank you,

Pam

----- Forwarded message -----

From: **Charlene So** <cso@urbanxroads.com>

Date: Mon, Oct 4, 2021 at 2:22 PM

Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

To: Alex Steele <alexs@migcom.com>

Cc: Pam Steele <pams@migcom.com>

Hi Alex,

Attached is the updated trip generation and our responses to the City's comments. Let me know if you have any questions. Thank you!

Here is the link to the SPA No. 5 Traffic Study requested by the City:

<https://urbanxroads.egnyte.com/dl/jYMaWQH9W7>

Regards,

CHARLENE SO, PE

Associate Principal

Privacy [REDACTED] Mobile

urbanxroads.com

From: Alex Steele <alexs@migcom.com>

Sent: Monday, October 4, 2021 9:52 AM

To: Charlene So <cso@urbanxroads.com>

Cc: Pam Steele <pams@migcom.com>

Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

Charlene,

See attached.

Alex Steele

Senior Associate Planner



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AR 014812

COB_2067

AR011410

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www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)

----- Forwarded message -----

From: **Pam Steele** <pams@migcom.com>
Date: Sat, Oct 2, 2021 at 8:33 AM
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
To: Sha Liu Mahoney <sha@hparchs.com>, Alex Steele <alexs@migcom.com>

Sha,

Following up on the email I JUST sent (sorry) - is this one good to send to the traffic consultant?

Pam

----- Forwarded message -----

From: **Yunxuan Gou** <yunxuan@hparchs.com>
Date: Fri, Oct 1, 2021 at 5:58 PM
Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
To: Sha Liu Mahoney <sha@hparchs.com>, Jagger Everett <jaggere@creationequity.com>, Grant Kingdon <grantk@creationequity.com>, Blake Wells <BlakeW@lgedesignbuild.com>, grantb@lgedesignbuild.com <grantb@lgedesignbuild.com>, Mark S. Cone <markc@lgedesigngroup.com>, Ben McRae <BenM@lgedesigngroup.com>, Jeff Potter <Jeff@thieneseng.com>, Chad Williams <Chad@aircontrolsystems.net>, Randy Fehlman <RandyF@greggelectric.com>, John Gaglio <JohnG@greggelectric.com>, karl@johnsonplumbing.com <karl@johnsonplumbing.com>, genep@lgedesignbuild.com <genep@lgedesignbuild.com>, Tom Hayes <tomh@hunterlandscape.net>, Rafik Gerges <rgerges@hsaassociates.com>, Mahes Kumar Thiagarajan <mahes@hsaassociates.com>
Cc: Joey Bravo <jbravo@aircontrolsystems.net>, Austin.Sullivan@aerofire.com <Austin.Sullivan@aerofire.com>, Matt Daoust <mattd@lgedesignbuild.com>, Pam Steele <pams@migcom.com>, Mahes Kumar Thiagarajan <mahes@hsaassociates.com>, Tan Tran <tan@hsaassociates.com>, Gene Plum <genep@lgedesignbuild.com>

Team,

Please see attached updated site plan for your use and also PDFs per request from Gene

- Updated the South truck yard entry per civil background
- Updated SE parking area entry per civil
- Progress elevation and floor plan sheets

AR 014813

COB_2068

AR011411

Let us know if any question.

Thanks,

Xuan

Yunxuan Guo, LEED AP BD+C | HPA, Inc.

18831 Bardeen Avenue, Suite 100

Irvine, CA 92612

949.862.2127 direct

949.863.7770 mobile

Privacy

www.hparchs.com

From: Gene Plum <genep@lgedesignbuild.com>

Sent: Friday, October 1, 2021 11:08 AM

To: Yunxuan Gou <yunxuan@hparchs.com>; Sha Liu Mahoney <sha@hparchs.com>

Cc: Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; Grant Blunt <grantb@lgedesignbuild.com>; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Pam Steele <pams@migcom.com>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Joey Bravo <jbravo@aircontrolsystems.net>; Matt Daoust <mattd@lgedesignbuild.com>; Tan Tran <tan@hsaassociates.com>

Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

Can you please send us PDF files of these documents ?

Thank You,

Gene

Gene Plum
Senior Estimator

O: 480.966.4001

M: Privacy

D: 602.786.7835

1200 N. 52nd St., Phoenix, AZ 85008

AR 014814

COB_2069

AR011412



ROC 101562

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From: Pam Steele <pams@migcom.com>

Sent: Thursday, September 30, 2021 9:32 AM

To: Yunxuan Gou <yunxuan@hparchs.com>

Cc: Sha Liu Mahoney <sha@hparchs.com>; Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; Grant Blunt <grantb@lgedesignbuild.com>; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Joey Bravo <jbravo@aircontrolsystems.net>; Austin.Sullivan@aerofire.com; Matt Daoust <mattd@lgedesignbuild.com>; Tan Tran <tan@hsaassociates.com>; Gene Plum <genep@lgedesignbuild.com>

Subject: Re: Banning NEC Highland Springs Ave & Sun Lakes Blvd

Please send PDFs when you have a minute.

Thanks,

On Wed, Sep 29, 2021 at 7:33 PM Yunxuan Gou <yunxuan@hparchs.com> wrote:

Team,

Please see attached latest background for your use

- Floor plan & elevation with the louvers/ drain locations/ adjust panel height
- There will be minor revisions on the site plan will be following up soon

Let us know if any questions.

Thanks,

Xuan

Yunxuan Guo, LEED AP BD+C | HPA, Inc.

AR 014815

COB_2070

AR011413

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Irvine, CA 92612
949.862.2127 direct
949.863.1770 main
Privacy [REDACTED] cell
www.hparchs.com

From: Sha Liu Mahoney <sha@hparchs.com>
Sent: Thursday, September 16, 2021 6:52 PM
To: Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; grantb@lgedesignbuild.com; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>
Cc: Joey Bravo <jbravo@aircontrolsystems.net>; Austin.Sullivan@aerofire.com; Matt Daoust <mattd@lgedesignbuild.com>; Pam Steele <pams@migcom.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Tan Tran <tan@hsaassociates.com>; Yunxuan Gou <yunxuan@hparchs.com>; Gene Plum <genep@lgedesignbuild.com>
Subject: Banning NEC Highland Springs Ave & Sun Lakes Blvd

Hi all,

Following up on the kick off meeting, please see attached meeting notes and updated CAD base for your use. Please note the CAD file are only site plan and floor plan, we are working on elevation for minor revision to make it more functional for the future office. Once elevation is revised and approved, we will distribute the CAD.

Let us know if you have questions.

Thank you,

Sha Liu Mahoney | HPA, Inc.

18831 Bardeen Avenue, Suite 100
Irvine, CA 92612
Privacy [REDACTED] Mobile (primary)
949. 862.2108 Direct
949.863.1770 main
www.hparchs.com

--
Pam Steele

AR 014816

COB_2071

AR011414

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone [REDACTED] to reach me. Thanks!



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1650 Spruce Street, Suite 106
Riverside, California 92507 | USA

office: 951-787-9222 extension: 8360, cell: [REDACTED]

pams@migcom.com

www.migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--
Pam Steele

Principal

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Pam Steele

Principal

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AR 014817

COB_2072

AR011415



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AR 014818

COB_2073

AR011416

From: Pam Steele
Sent: Tuesday, October 5, 2021 6:38 PM PDT
To: Adam Rush
CC: Lisa Edwards; Alex Steele
Subject: Re: Banning Point - environmental review
Attachments: image001.jpg, image001.png, image002.png, image003.png, image005.png, image006.jpg, image007.png, image001.jpg

Great news, thank you!

On Tue, Oct 5, 2021, 6:37 PM Adam Rush <arush@banningca.gov> wrote:

Pam,

Our review has been completed (see attached) and you're cleared to proceed.

Sincerely,


Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: 

Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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AR 014819

COB_2074

AR011417

From: Pam Steele <pams@migcom.com>
Sent: Tuesday, October 5, 2021 5:25 PM
To: Lisa Edwards <ledwards@banningca.gov>; Adam Rush <arush@banningca.gov>
Cc: alexs@migcom.com
Subject: Banning Point - environmental review

Lisa and Adam,

Can you please let us know when we will get your final comments on the environmental review document?

Thank you,

Pam

--

Pam Steele

Principal

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AR 014820

COB_2075

AR011418

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----- Forwarded message -----

From: Emery Papp <epapp@banningca.gov>

To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>

Bcc:

Date: Wed, 6 Oct 2021 00:23:53 +0000

Subject: RE: Lisa Edwards shared "20210819_13714_LGE Design Build Draft Consistency Analysis_to Applicant" with you.

Lisa,

I have completed my review of the Sun Lakes Village North Specific Plan Consistency Determination and find the document to have been extremely well written, concise, and accurate. I agree with all of the statements and findings in the consistency analysis, and, in particular, that because the project is approximately 300,000 net square feet less in developed area than the project envisioned in the Specific Plan Amendment No. 5 EIR; that VMT is being used a threshold for traffic for less intense uses than originally envisioned in the Specific Plan Amendment No. 5 EIR; that air quality, while still unattainable in the South Coast Air Basin, is less impactful than the project envisioned in the Specific Plan Amendment No. 5 EIR; and that the proposed project will provide significantly more landscaping. In general, the proposed project could be viewed as an environmentally superior alternative to the project proposed in the Specific Plan Amendment No. 5 EIR and, therefore, the analysis for the newly proposed project is consistent with, or is superior to, the previously approved project. I concur that no further analysis is required and Adam can make the determination to file a Notice of Determination that no further review or mitigation is required.

I'm sorry it took so long to complete my review, but I wanted to be sure to provide a thorough understanding of the consistency document while the Housing Element Update was competing for my time.

Sincerely,

AR 014821

COB_2076

AR011419

Emery J. Papp

Senior Planner

Community Development Department

City of Banning

Direct Line: 951-922-3152

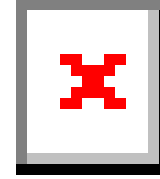
Direct Fax: 951-922-3128

epapp@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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From: Lisa Edwards <ledwards@banningca.gov>

Sent: Monday, September 27, 2021 3:25 PM

To: Emery Papp <epapp@banningca.gov>

Subject: Lisa Edwards shared "20210819_13714_LGE Design Build Draft Consistency Analysis_to Applicant" with you.



AR 014822

COB_2077

AR011420

Lisa Edwards shared a file with you

Here's the document that Lisa Edwards shared with you.



[20210819_13714_LGE Design Build Draft Consistency Analysis to Applicant](#)



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From: Pam Steele <pams@migcom.com>
Sent: Tuesday, October 5, 2021 6:39 PM
To: Adam Rush
Cc: Lisa Edwards; Alex Steele
Subject: Re: Banning Point - environmental review
Attachments: image001.jpg

Great news, thank you!

On Tue, Oct 5, 2021, 6:37 PM Adam Rush <arush@banningca.gov> wrote:

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Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: 760-219-2791

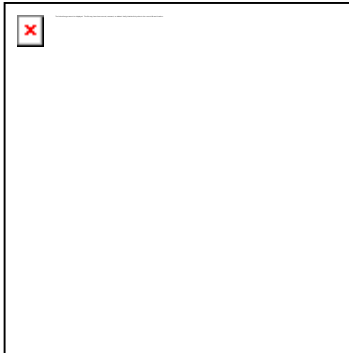
Direct Fax: 951-922-3128

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Sent: Tuesday, October 5, 2021 5:25 PM
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Cc: alexs@migcom.com
Subject: Banning Point - environmental review

Lisa and Adam,

Can you please let us know when we will get your final comments on the environmental review document?

Thank you,

Pam

--

Pam Steele

Principal

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To: Lisa Edwards <ledwards@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>

Bcc:

Date: Wed, 6 Oct 2021 00:23:53 +0000

Subject: RE: Lisa Edwards shared "20210819_13714_LGE Design Build Draft Consistency Analysis_to Applicant" with you.

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Sincerely,

Emery J. Papp

Senior Planner

Community Development Department

City of Banning

Direct Line: 951-922-3152

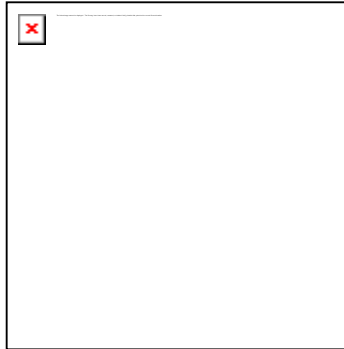
Direct Fax: 951-922-3128

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To: Emery Papp <epapp@banningca.gov>

Subject: Lisa Edwards shared "20210819_13714_LGE Design Build Draft Consistency Analysis_to Applicant" with you.



Lisa Edwards shared a file with you

Here's the document that Lisa Edwards shared with you.



[20210819 13714 LGE Design Build Draft Consistency Analysis to Applicant](#)



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From: Pam Steele <pams@migcom.com>
Sent: Tuesday, October 5, 2021 5:24 PM
To: Lisa Edwards; Adam Rush
Cc: Alex Steele
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
Attachments: 13841-03 TG Letter.pdf; 13841-04 Response.pdf

Lisa and Adam,

Here is the updated Traffic Analysis and VMT letter. Updated plans will come to you tomorrow.

Please let us know if you need anything else.

Thank you,

Pam

----- Forwarded message -----

From: **Charlene So** <cso@urbanxroads.com>
Date: Mon, Oct 4, 2021 at 2:22 PM
Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
To: Alex Steele <alexs@migcom.com>
Cc: Pam Steele <pams@migcom.com>

Hi Alex,

Attached is the updated trip generation and our responses to the City's comments. Let me know if you have any questions. Thank you!

Here is the link to the SPA No. 5 Traffic Study requested by the City:
<https://urbanxroads.egnyte.com/dl/jYMaWQH9W7>

Regards,

CHARLENE SO, PE

Associate Principal

(949) 861-0177 Mobile

urbanxroads.com

From: Alex Steele <alexs@migcom.com>
Sent: Monday, October 4, 2021 9:52 AM
To: Charlene So <cso@urbanxroads.com>
Cc: Pam Steele <pams@migcom.com>
Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

Charlene,

See attached.

Alex Steele

Senior Associate Planner



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1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8330 cell: 951-479-7402
your-email@migcom.com
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From: Pam Steele <pams@migcom.com>
Date: Sat, Oct 2, 2021 at 8:33 AM

Subject: Fwd: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220
To: Sha Liu Mahoney <sha@hparchs.com>, Alex Steele <alexs@migcom.com>

Sha,

Following up on the email I JUST sent (sorry) - is this one good to send to the traffic consultant?

Pam

----- Forwarded message -----

From: **Yunxuan Gou** <yunxuan@hparchs.com>

Date: Fri, Oct 1, 2021 at 5:58 PM

Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

To: Sha Liu Mahoney <sha@hparchs.com>, Jagger Everett <jaggere@creationequity.com>, Grant Kingdon <grantk@creationequity.com>, Blake Wells <BlakeW@lgedesignbuild.com>, grantb@lgedesignbuild.com <grantb@lgedesignbuild.com>, Mark S. Cone <markc@lgedesigngroup.com>, Ben McRae <BenM@lgedesigngroup.com>, Jeff Potter <Jeff@thieneseng.com>, Chad Williams <Chad@aircontrolsystems.net>, Randy Fehlman <RandyF@greggelectric.com>, John Gaglio <JohnG@greggelectric.com>, karl@johnsonplumbing.com <karl@johnsonplumbing.com>, genep@lgedesignbuild.com <genep@lgedesignbuild.com>, Tom Hayes <tomh@hunterlandscape.net>, Rafik Gerges <rgerges@hsaassociates.com>, Mahes Kumar Thiagarajan <mahes@hsaassociates.com>

Cc: Joey Bravo <jbravo@aircontrolsystems.net>, Austin.Sullivan@aerofire.com <Austin.Sullivan@aerofire.com>, Matt Daoust <mattd@lgedesignbuild.com>, Pam Steele <pams@migcom.com>, Mahes Kumar Thiagarajan <mahes@hsaassociates.com>, Tan Tran <tan@hsaassociates.com>, Gene Plum <genep@lgedesignbuild.com>

Team,

Please see attached updated site plan for your use and also PDFs per request from Gene

- Updated the South truck yard entry per civil background
- Updated SE parking area entry per civil
- Progress elevation and floor plan sheets
-

Let us know if any question.

Thanks,

Xuan

Yunxuan Guo, LEED AP BD+C | HPA, Inc.

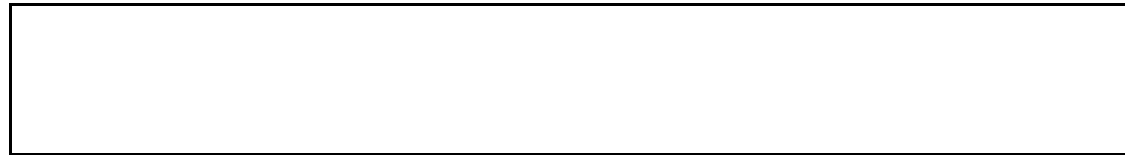
18831 Bardeen Avenue, Suite 100
Irvine, CA 92612
949.862.2127 direct
949.863.1770 main
310 923 2753 cell
www.hparchs.com

From: Gene Plum <genep@lgedesignbuild.com>
Sent: Friday, October 1, 2021 11:08 AM
To: Yunxuan Gou <yunxuan@hparchs.com>; Sha Liu Mahoney <sha@hparchs.com>
Cc: Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; Grant Blunt <grantb@lgedesignbuild.com>; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Pam Steele <pams@migcom.com>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Joey Bravo <jbravo@aircontrolsystems.net>; Matt Daoust <mattd@lgedesignbuild.com>; Tan Tran <tan@hsaassociates.com>
Subject: RE: Banning NEC Highland Springs Ave & Sun Lakes Blvd - Banning Point Project Banning CA 92220

Can you please send us PDF files of these documents ?

Thank You,

Gene



Gene Plum
Senior Estimator

O: 480.966.4001
M: 480.881.4347
D: 602.786.7835

1200 N. 52nd St., Phoenix, AZ 85008



ROC 101562

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From: Pam Steele <pams@migcom.com>
Sent: Thursday, September 30, 2021 9:32 AM
To: Yunxuan Gou <yunxuan@hparchs.com>
Cc: Sha Liu Mahoney <sha@hparchs.com>; Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; Grant Blunt <grantb@lgedesignbuild.com>; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsyste.ms.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Joey Bravo <jbravo@aircontrolsyste.ms.net>; Austin.Sullivan@aerofire.com; Matt Daoust <mattd@lgedesignbuild.com>; Tan Tran <tan@hsaassociates.com>; Gene Plum <genep@lgedesignbuild.com>
Subject: Re: Banning NEC Highland Springs Ave & Sun Lakes Blvd

Please send PDFs when you have a minute.

Thanks,

On Wed, Sep 29, 2021 at 7:33 PM Yunxuan Gou <yunxuan@hparchs.com> wrote:

Team,

Please see attached latest background for your use

- Floor plan & elevation with the louvers/ drain locations/ adjust panel height
- There will be minor revisions on the site plan will be following up soon

Let us know if any questions.

Thanks,

Xuan

Yunxuan Guo, LEED AP BD+C | HPA, Inc.

18831 Bardeen Avenue, Suite 100
Irvine, CA 92612
949.862.2127 direct
949.863.1770 main
310 923 2753 cell
www.hparchs.com

From: Sha Liu Mahoney <sha@hparchs.com>

Sent: Thursday, September 16, 2021 6:52 PM

To: Jagger Everett <jaggere@creationequity.com>; Grant Kingdon <grantk@creationequity.com>; Blake Wells <BlakeW@lgedesignbuild.com>; grantb@lgedesignbuild.com; Mark S. Cone <markc@lgedesigngroup.com>; Ben McRae <BenM@lgedesigngroup.com>; Jeff Potter <Jeff@thieneseng.com>; Chad Williams <Chad@aircontrolsystems.net>; Randy Fehlman <RandyF@greggelectric.com>; John Gaglio <JohnG@greggelectric.com>; karl@johnsonplumbing.com; Tom Hayes <tomh@hunterlandscape.net>; Rafik Gerges <rgerges@hsaassociates.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>

Cc: Joey Bravo <jbravo@aircontrolsystems.net>; Austin.Sullivan@aerofire.com; Matt Daoust <mattd@lgedesignbuild.com>; Pam Steele <pams@migcom.com>; Mahes Kumar Thiagarajan <mahes@hsaassociates.com>; Tan Tran <tan@hsaassociates.com>; Yunxuan Gou <yunxuan@hparchs.com>; Gene Plum <genep@lgedesignbuild.com>

Subject: Banning NEC Highland Springs Ave & Sun Lakes Blvd

Hi all,

Following up on the kick off meeting, please see attached meeting notes and updated CAD base for your use. Please note the CAD file are only site plan and floor plan, we are working on elevation for minor revision to make it more functional for the future office. Once elevation is revised and approved, we will distribute the CAD.

Let us know if you have questions.

Thank you,

Sha Liu Mahoney | HPA, Inc.

18831 Bardeen Avenue, Suite 100
Irvine, CA 92612

949.966.7769 Mobile (primary)
949. 862.2108 Direct
949.863.1770 main
www.hparchs.com

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



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pams@migcom.com
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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

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urbanroads.com

October 4, 2021

Mr. Kevin Sin
City of Banning
99 E. Ramsey Street
Banning, CA 92220

SUBJECT: BANNING POINT (TPM 38164) TRIP GENERATION ASSESSMENT RESPONSE TO COMMENTS

Dear Mr. Kevin Sin:

This Response to Comments letter has been prepared for the Banning Point (TPM 38164) Trip Generation Assessment (dated June 10, 2021), which is located on the northeast corner of Sun Lake Village Drive and Sun Lakes Boulevard in the City of Banning. A copy of the City's traffic consultant's September 27, 2021 comments are provided in Attachment A.

COMMENT #1

General: Please provide the approved SPA No. 5 traffic study as a reference.

RESPONSE #1

A link to the approved SPA No. 5 has been provided for reference.

COMMENT #2

General: Provide the latest project site plan as a reference.

RESPONSE #2

Exhibit 1 has been updated with the latest site plan.

COMMENT #3

General: Provide an engineer stamp and a signature on the study.

RESPONSE #3

Updated trip generation letter has been stamped by a traffic engineer.

Mr. Kevin Sin
City of Banning
October 4, 2021
Page 2 of 2

COMMENT #4

Page 3: Project Access: Provide peak hour traffic volumes and lane configurations at each project driveway for both SPA No. 5 traffic study and for the proposed project conditions. Also, identify the proposed traffic control at each project driveway intersection.

RESPONSE #4

Exhibit 2 has been added to the updated trip generation letter to include the project only traffic volumes for both SPA No. 5 and proposed Project. Exhibit 3 has been added to show the site access recommendations, which are consistent with SPA No. 5.

COMMENT #5

Exhibit 1: It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.

RESPONSE #5

The site plan has been revised to align Driveway 3 with the existing Country Club Drive – see new Exhibit 1.

COMMENT #6

Exhibit 1: The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

RESPONSE #6

As shown on the site plan, Driveway 4 (the easterly driveway) has been relocated to the west per the City's comment (see Exhibit 1).

If you have any questions, please contact me directly at (949) 861-0177.

Respectfully submitted,
URBAN CROSSROADS, INC.



Charlene So, PE
Associate Principal

ATTACHMENT A
ERSC/PMK COMMENTS, SEPTEMBER 27, 2021



REDLANDS | TEMECULA | PALM DESERT

MEMORANDUM

TO: Charlene So, Urban Crossroads
Kevin Sin, City of Banning

FROM: Peter Kim, PE, TE, *ERSC/PMK*

DATE: September 27, 2021

SUBJECT: CITY OF BANNING – BANNING POINT (TPM 38164) – TRIP GENERATION ASSESSMENT - PC1 MEMO

We have completed the review for the above-referenced project and the following comments are the result of our review.

General

1. Please provide the approved SPA No. 5 traffic study as a reference.
2. Provide the latest project site plan as a reference.
3. Provide an engineer stamp and a signature on the study.

Page 3

1. Project Access: Provide peak hour traffic volumes and lane configurations at each project driveway for both SPA No. 5 traffic study and for the proposed project conditions. Also, identify the proposed traffic control at each project driveway intersection.

Exhibit 1: Preliminary Site Plan

1. It appears the westerly driveway on Sun Lake Blvd does not align with the existing Country Club Drive and should be realigned.
2. The easterly driveway on Sun Lake Blvd is too close to the existing adjacent driveway and should be relocated at least 100' westerly direction. Since the existing adjacent driveway has a full access, the project traffic will utilize this opening to enter and exit from the project easterly driveway.

Contact me at peterkimpnk@gmail.com or (949) 466-3126 for any questions.

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



PLANNING | DESIGN | COMMUNICATIONS | MANAGEMENT | SCIENCE | TECHNOLOGY

1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8360, **cell: 951-733-5240**
pams@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)

WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

--

Pam Steele

Principal

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urbancrossroads.com

October 4, 2021

Mr. Adam Rush
City of Banning Public Works
99 E. Ramsey Street
Banning, CA 92220

SUBJECT: BANNING POINT (TPM 38164) TRIP GENERATION ASSESSMENT

Dear Mr. Adam Rush:

Urban Crossroads, Inc. is pleased to provide the following Trip Generation Assessment for Banning Point development (Project) which is located on the northeast corner of Sun Lake Village Drive and Sun Lakes Boulevard in the City of Banning (see Exhibit 1 for preliminary site plan). The purpose of this trip generation evaluation is to determine whether additional traffic operations analysis is needed based on a comparison of the proposed Project trip generation and that evaluated for the currently approved project as evaluated in the Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020, referred to as **SPA No. 5 Traffic Study**).

CURRENTLY APPROVED TRIP GENERATION

The SPA No. 5 Traffic Study evaluated the development of 877,298 square feet of industrial park use and 37,189 square feet of commercial retail use within the area bounded by the proposed Project. There was also 52,065 square feet of medical office use evaluated in the SPA No. 5 Traffic Study, however, this portion of the Specific Plan lies outside of the proposed Project boundary. As such, only the industrial park and commercial retail uses have been contemplated for the purposes of this trip generation assessment. The trip generation summary for the currently approved Project uses is shown on Table 1. As shown on Table 1, the currently approved uses were anticipated to generate 3,844 two-way trips per day, with 375 trips during the AM peak hour and 445 trips during the PM peak hour. In passenger car equivalents (PCE), the currently approved uses were anticipated to generate 4,530 two-way PCE trips per day with 440 AM PCE peak hour trips and 498 PM PCE peak hour trips.

Mr. Adam Rush
City of Banning Public Works
October 4, 2021
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TABLE 1: CURRENTLY APPROVED TRIP GENERATION SUMMARY

Land Use	Quantity Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Trip Generation Summary (Actual Vehicles):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		6	1	7	1	5	6	74
3-axle Trucks:		7	2	9	2	6	8	92
4+-axle Trucks:		21	5	26	5	17	22	278
Total Trucks:		34	8	42	8	28	36	444
Industrial Park Subtotal		284	67	351	74	278	352	2,958
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-43	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (Actual Vehicles) ²		299	76	375	116	329	445	3,844
Trip Generation Summary (PCE):								
Industrial Park	877.298 TSF							
Passenger Cars:		250	59	309	66	250	316	2,514
2-axle Trucks:		9	2	11	2	7	9	112
3-axle Trucks:		14	3	17	3	11	14	184
4+-axle Trucks:		64	15	79	14	52	66	834
Total Trucks (PCE):		87	20	107	19	70	89	1,130
Industrial Park Subtotal		337	79	416	85	320	405	3,644
Commercial Retail	37.189 TSF	22	13	35	68	74	142	1,404
Internal Capture		-7	-4	-11	-5	-1	-6	-60
Pass-By (34% PM/Daily)		0	0	0	-21	-21	-42	-458
Retail Subtotal		15	9	24	42	51	93	886
Total Trips (PCE) ²		352	88	440	127	371	498	4,530

Source: Sun Lakes Village North Specific Plan Amendment No. 5 Traffic Analysis (dated September 4, 2020).

¹ TSF = thousand square feet

² Total Trips = Passenger Cars + Truck Trips.

PROPOSED PROJECT TRIP GENERATION

The Project is proposed to consist of 464,969 square feet of high-cube fulfillment center warehouse use (75% of the industrial use), 154,990 square feet of high-cube cold storage warehouse use (25% of the industrial use), 16,200 square feet of fast-food restaurant without drive-through window use, 1,600 square feet of coffee-donut shop with drive-through window use, and 16,200 square feet of shopping center use. Consistent with the SPA No. 5 Traffic Study, the industrial uses are proposed on the northern end of the site with the commercial retail uses fronting Sun Lakes Boulevard to the south. The proposed

Mr. Adam Rush
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access to the site is also consistent with the SPA No. 5 Traffic Study, with access points proposed along Sun Lakes Village Drive and two driveways along Sun Lakes Boulevard to the east. The westerly driveway on Sun Lakes Boulevard into the commercial retail area is proposed to have full access, aligning with the existing Country Club Drive and the easterly driveway on Sun Lakes Boulevard will be restricted to right-in/right-out access only (to be controlled by the existing raised median).

Trip generation for the proposed Project land uses is based upon information collected by the Institute of Transportation Engineers (ITE) as provided in their Trip Generation Manual (10th Edition, 2017), the ITE Trip Generation Handbook (3rd Edition, 2017), the South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Generation Data Results and Usage (2014), and the High-Cube Warehouse Trip Generation Study (WSP, January 29, 2019). The trip generation rates for the proposed Project are provided on Table 2.

TABLE 2: TRIP GENERATION RATES

Land Use ¹	Units ²	ITE LU Code	AM Peak Hour			PM Peak Hour			Daily
			In	Out	Total	In	Out	Total	
Actual Vehicle Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks			0.006	0.002	0.008	0.003	0.008	0.011	0.162
5+ Axle Trucks			0.008	0.003	0.011	0.003	0.007	0.010	0.217
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks			0.008	0.002	0.010	0.003	0.007	0.010	0.257
3-Axle Trucks			0.003	0.001	0.003	0.001	0.002	0.003	0.082
4+ Axle Trucks			0.012	0.004	0.016	0.004	0.011	0.015	0.403
Fast Food without Drive Thru	TSF	933	15.060	10.040	25.100	14.170	14.170	28.340	346.230
Coffee/Donut Shop with Drive Thru	TSF	937	45.385	43.605	88.990	21.690	21.690	43.380	820.380
Shopping Center	TSF	820	0.583	0.357	0.940	1.829	1.981	3.810	37.750
Passenger Car Equivalent (PCE) Trip Generation Rates:									
High-Cube Fulfillment Center Warehouse ³	TSF	--	0.094	0.028	0.122	0.046	0.119	0.165	2.129
Passenger Cars			0.079	0.024	0.103	0.040	0.104	0.144	1.750
2-4 Axle Trucks (PCE = 2.0)			0.012	0.004	0.016	0.006	0.016	0.022	0.324
5+ Axle Trucks (PCE = 3.0)			0.025	0.008	0.033	0.008	0.022	0.030	0.651
High-Cube Cold Storage Warehouse ⁴	TSF	157	0.085	0.025	0.110	0.032	0.088	0.120	2.120
Passenger Cars			0.062	0.018	0.080	0.025	0.067	0.092	1.378
2-Axle Trucks (PCE = 1.5)			0.012	0.004	0.015	0.004	0.010	0.014	0.386
3-Axle Trucks (PCE = 2.0)			0.005	0.002	0.007	0.002	0.004	0.006	0.163
4+ Axle Trucks (PCE = 3.0)			0.037	0.011	0.048	0.012	0.033	0.045	1.209

¹ Trip Generation Source: Institute of Transportation Engineers (ITE), Trip Generation Manual, Tenth Edition (2017).

² TSF = thousand square feet

³ Vehicle Mix Source: High Cube Warehouse Trip Generation Study, WSP, January 29, 2019.

Inbound and outbound split source: High Cube Warehouse Vehicle Trip Generation Analysis, October 2016, ITE.

⁴ Vehicle Mix Source: ITE Trip Generation Handbook Supplement (2020), Appendix C.

Truck Mix Source: South Coast Air Quality Management District (SCAQMD) Warehouse Truck Trip Study Data Results and Usage (2014).

Normalized % - With Cold Storage: 34.7% 2-Axle trucks, 11.0% 3-Axle trucks, 54.3% 4-Axle trucks.

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City of Banning Public Works
October 4, 2021
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As shown on Table 3, the proposed Project is anticipated to generate 4,238 two-way trips per day, with 317 trips generated during the AM peak hour and 337 trips generated during the PM peak hour (in actual vehicles).

TABLE 3: PROPOSED PROJECT TRIP GENERATION SUMMARY (ACTUAL VEHICLES)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		3	1	4	1	4	5	76
5+axle Trucks:		4	1	5	1	3	4	102
Total Truck:		7	2	9	2	7	9	178
Fulfillment Center Warehouse (Actual Vehicles)		37	3	40	15	52	67	938
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		1	0	1	0	1	1	40
3-axle Trucks:		0	0	0	0	0	0	14
4+axle Trucks:		2	1	3	1	2	3	62
Total Truck:		3	1	4	1	3	4	116
High-Cube Cold Storage Warehouse (Actual Vehicles)		11	2	13	3	12	16	312
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Industrial Total (Actual Vehicles)		48	5	53	18	64	83	1,250
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		10	3	13	3	10	13	294
Project Total (Actual Vehicles)		223	95	317	147	191	337	4,238

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

Mr. Adam Rush
City of Banning Public Works
October 4, 2021
Page 5 of 7

As shown on Table 4, the proposed Project is anticipated to generate 4,674 two-way PCE trips per day, with 340 AM PCE peak hour trips and 359 PM PCE peak hour trips.

TABLE 4: PROPOSED PROJECT TRIP GENERATION SUMMARY (PCE)

Land Use	Quantity ² Units ¹	AM Peak Hour			PM Peak Hour			Daily
		In	Out	Total	In	Out	Total	
Fulfillment Center Warehouse (75%)	464.969 TSF							
Passenger Cars:		37	11	48	19	48	67	814
Internal Capture ²		-7	-10	-17	-6	-3	-9	-54
Total Passenger Car:		30	1	31	13	45	58	760
2-4 axle Trucks:		6	2	8	3	7	10	152
5+-axle Trucks:		12	4	16	4	10	14	304
Total Truck:		18	6	24	7	17	24	456
Fulfillment Center Warehouse (PCE)		48	7	55	20	62	82	1,216
High-Cube Cold Storage Warehouse (25%)	154.990 TSF							
Passenger Cars:		10	3	13	4	10	14	214
Internal Capture ²		-2	-2	-4	-2	-1	-2	-18
Total Passenger Car:		8	1	9	2	9	12	196
2-axle Trucks:		2	1	3	1	2	3	60
3-axle Trucks:		1	0	1	0	1	1	26
4+-axle Trucks:		6	2	8	2	5	7	188
Total Truck:		9	3	12	3	8	11	274
High-Cube Cold Storage Warehouse (PCE)		17	4	21	5	17	23	470
Industrial Total Passenger Cars		38	2	40	15	54	70	956
Industrial Total Trucks (PCE)		27	9	36	10	25	35	730
Industrial Total (PCE)		65	11	76	25	79	105	1,686
Fast Food without Drive Thru	16.200 TSF	244	163	407	230	230	459	5,610
Internal Capture ²		-8	-6	-15	-9	-18	-27	-436
Pass-By (49% AM; 50% PM/Daily) ³		-77	-77	-153	-106	-106	-212	-2,588
Coffee/Donut Shop with Drive Thru	1.600 TSF	73	70	142	35	35	69	1,314
Internal Capture ²		-2	-2	-3	-2	-4	-6	-160
Pass-By (89% AM/PM/Daily) ³		-61	-61	-121	-27	-27	-54	-1,028
Restaurant Total:		169	87	256	120	109	230	2,712
Shopping Center	16.200 TSF	9	6	15	30	32	62	612
Internal Capture ²		-4	-3	-7	-17	-10	-27	-192
Pass-By (34% PM/Daily) ³		0	0	0	-4	-4	-9	-144
Retail Total:		5	3	8	8	18	26	276
Commercial Total		175	90	264	129	127	256	2,988
Project Total Passenger Cars		213	92	304	144	181	324	3,944
Project Total Trucks (Actual Vehicles)		27	9	36	10	25	35	730
Project Total (PCE)		240	101	340	154	206	359	4,674

¹ TSF = thousand square feet

² Internal capture calculated from NCHRP 684 Internal Trip Capture Estimation Tool.

³ Source: ITE Trip Generation Handbook, 3rd Edition, 2017.

Mr. Adam Rush
 City of Banning Public Works
 October 4, 2021
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TRIP GENERATION COMPARISON

As shown in Table 5, the development of the proposed Project is anticipated to generate 144 more two-way PCE trips per day with 100 fewer AM PCE peak hour trips and 139 fewer PM PCE peak hour trips as compared to the currently approved uses. The trip generation comparison has been performed for the PCE trips only as the peak hour intersection operations analysis conducted in the SPA No. 5 Traffic Study was based on PCE.

Exhibit 2 illustrates the Project only traffic volumes for both the SPA No. 5 and the proposed Project for the project driveways and the adjacent intersection of Sun Lake Village Drive and Sun Lakes Boulevard.

TABLE 5: TRIP GENERATION COMPARISON

Land Use	AM Peak Hour			PM Peak Hour			Daily
	In	Out	Total	In	Out	Total	
Actual Vehicles:							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	34	8	42	8	28	36	444
Previously Approved Project Total	299	76	375	116	329	445	3,844
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	10	3	13	3	10	13	294
Proposed Project Total	223	95	317	147	191	337	4,238
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-24	-5	-29	-5	-18	-23	-150
Comparison Total	-76	19	-58	31	-138	-108	394
Passenger Car Equivalent (PCE):							
Previously Approved Project							
Passenger Cars:	265	68	333	108	301	409	3,400
Total Truck Trips:	87	20	107	19	70	89	1,130
Previously Approved Project Total	352	88	440	127	371	498	4,530
Proposed Project							
Passenger Cars:	213	92	304	144	181	324	3,944
Total Truck Trips:	27	9	36	10	25	35	730
Proposed Project Total	240	101	340	154	206	359	4,674
Comparison							
Passenger Cars:	-52	24	-29	36	-120	-85	544
Total Truck Trips:	-60	-11	-71	-9	-45	-54	-400
Comparison Total	-112	13	-100	27	-165	-139	144

Mr. Adam Rush
City of Banning Public Works
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CONCLUSION

The City's guidelines identify traffic operations analysis should be required if the proposed project meets the following criteria:

- When either the AM or PM peak hour trip generation on a weekday or weekend is expected to exceed 50 net new vehicles trips from the proposed development.

Although the daily trip generation shows a net increase, the peak hour operations analysis is based on the AM and PM peak hours. Since the trip generation comparison shows the proposed Project is anticipated to generate fewer trips during the peak hours as compared to the currently approved uses, additional traffic operations analysis is not required for this Project based on the City's Guidelines.

Site access recommendations for the Project driveways are shown on Exhibit 3 and are consistent with those recommended in the SPA No. 5.

If you have any questions, please contact me directly at (949) 861-0177.

Respectfully submitted,

URBAN CROSSROADS, INC.



Charlene So, PE
Associate Principal



EXHIBIT 1: PRELIMINARY SITE PLAN



13841-03 TG Letter
AR 014848

AR011446

EXHIBIT 2: COMPARISON OF PROJECT ONLY VOLUMES

Specific Plan Amendment No. 5:



###(##) AM(PM) Peak Hour Intersection Volumes
Average Daily Trips

Proposed Project:

1	2	3	4	5
Sun Lakes Village Dr. & Driveway 1	Sun Lakes Village Dr. & Driveway 2	Sun Lakes Village Dr. & Sun Lakes Bl.	Driveway 3/Country Club Dr. & Sun Lakes Bl.	Driveway 4 & Sun Lakes Bl.
<div> <div>1,050</div> <div> <div>← 10(39)</div> <div>42(16) →</div> </div> <div>1,050</div> </div>	<div> <div>1,050</div> <div> <div>← 10(39)</div> <div>42(16) →</div> </div> <div>1,050</div> </div>	<div> <div>1,400</div> <div> <div>← 18(45)</div> <div>68(35) →</div> </div> <div>1,400</div> </div>	<div> <div>2,550</div> <div> <div>← 62(126)</div> <div>127(87) →</div> </div> <div>2,550</div> </div>	<div> <div>1,250</div> <div> <div>← 9(8)</div> <div>33(83) →</div> </div> <div>1,250</div> </div>
3,850	3,850	3,850	2,550	1,250

###(##) AM(PM) Peak Hour Intersection Volumes
Average Daily Trips

EXHIBIT 3: SITE ACCESS RECOMMENDATIONS



1 Sun Lakes Village Dr. & Dwy. 1	2 Sun Lakes Village Dr. & Dwy. 2	3 Sun Lakes Village Dr. & Sun Lakes Bl.	4 Dwy. 3 / County Club Dr. & Sun Lakes Bl.	4 Dwy. 4 & Sun Lakes Bl.

- = Traffic Signal
- = Stop Sign
- = Stop Sign Improvement
- = Existing Lane
- = Lane Improvement
- = Recommended Turn Pocket Length
- = Minimum Turn Pocket Length

From: Pam Steele
Sent: Wednesday, October 6, 2021 1:12 PM PDT
To: Adam Rush
CC: alexs@migcom.com; Lisa Edwards; Sandra Calderon; Kevin Sin; Charlene So
Subject: Re: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

We will review and get back to you.

Thanks,

Pam

On Wed, Oct 6, 2021 at 1:05 PM Adam Rush <arush@banningca.gov> wrote:

Pam,

Engineering Conditions of Approval that are *hot off the presses*.

Please review and communicate any concerns or questions back to Kevin Sin directly; however, please keep Lisa in the loop.

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning
Direct Line: 951-922-3131

Cell Line:  Privacy

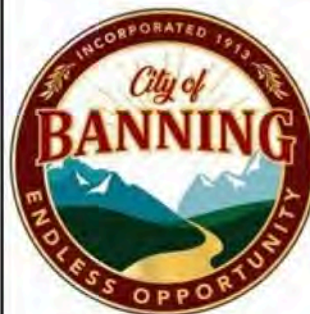
Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



AR 014851

COB_0654

AR011449

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From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, October 6, 2021 1:01 PM
To: Sandra Calderon <scalderon@banningca.gov>
Cc: Mark De Manincor <mdemanincor@banningca.gov>; Adam Rush <arush@banningca.gov>; Arturo Vela <avela@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Sandra,

Attached are the updated Conditions of Approval for the subject development. We added a condition (#7) to include a paved golf cart access through the property and at the future traffic signal entrance to the site.

Let me know if you have any questions.

Thank you,

Kevin D. Sin, P.E.

Senior Civil Engineer

Public Works Department

City of Banning

Direct Line: 951-922-3140

Direct Fax: 951-922-3141

ksin@banningca.gov

99 E. Ramsey Street

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AR 014852

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From: Kevin Sin
Sent: Thursday, June 24, 2021 10:58 AM
To: Sandra Calderon <scalderon@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>
Cc: Luis Cardenas (<lcardenas@banningca.gov>) <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Sandra, Mark,

Attached are the conditions of approval for the subject DR 21-7008. Our plan checker (ERSC) is still reviewing the preliminary documents. Will forward any comments to you once I've received them.

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.

Senior Civil Engineer

Public Works Department

City of Banning

Direct Line: 951-922-3140

Direct Fax: 951-922-3141

ksin@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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AR 014853

COB_0656

AR011451

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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Wednesday, June 09, 2021 3:56 PM

To: Adam Rush <arush@banningca.gov>; Arturo Vela <avela@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Art Chacon <achacon@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; Silvia Tapia <stapia@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; James Wurtz <jwurtz@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Rex Miller <rmiller@willdan.com>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 and provide your comments and/or conditions to the Planning Division by Wednesday, June 23, 2021.

Please click on the link below to download documents:

Privacy

Thank you,

AR 014854

COB_0657

AR011452

Sandra Calderon

Development Project Coordinator

Community Development Department

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

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--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



PLANNING

DESIGN

COMMUNICATIONS

MANAGEMENT

SCIENCE

TECHNOLOGY

1650 Spruce Street, Suite 106
Riverside, California 92507 | USA

office: 951-787-9222 extension: 8360, cell:

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pams@migcom.com

www.migcom.com

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WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014855

COB_0658

AR011453

From: Kevin Sin
Sent: Wednesday, October 6, 2021 1:00 PM PDT
To: Sandra Calderon
CC: Mark De Manincor; Adam Rush; Arturo Vela; Luis Cardenas
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: PW ENG COAs - NEC of Sun Lakes Blvd and Sun Lakes Village Dr 10-6-21.doc, image001.png, image002.jpg

Hi Sandra,

Attached are the updated Conditions of Approval for the subject development. We added a condition (#7) to include a paved golf cart access through the property and at the future traffic signal entrance to the site.

Let me know if you have any questions.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
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From: Kevin Sin
Sent: Thursday, June 24, 2021 10:58 AM
To: Sandra Calderon <scalderon@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>
Cc: Luis Cardenas (<lcardenas@banningca.gov>) <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Sandra, Mark,

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Thank you and please let me know if you have any questions.

AR 014856

COB_1338

AR011454

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
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Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,
Please review DR 21-7008 and provide your comments and/or conditions to the Planning Division by Wednesday, June 23, 2021.

Please click on the link below to download documents:

Privacy

Thank you,

AR 014857

COB_1339

AR011455

Sandra Calderon

Development Project Coordinator
Community Development Department

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

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Banning, CA 92220

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AR 014858

COB_1340

AR011456

From: Adam Rush
Sent: Wednesday, October 6, 2021 10:49 AM PDT
To: Sandra Calderon
Subject: RE: PC Agenda
Attachments: image001.jpg

WORKSHOP:

- I. AB 361 - Open meetings: state and local agencies: teleconferences (←I will provide a brief Staff Report and the text of the legislation for discussion purposes only.

-

PUBLIC HEARINGS:

- I. DR 21-7002 for TTM 37898
II. DR 21-7011 BESS SJ Storage
III. DR 21-7008 Banning Pointe
IV. GPA 21-2504 Housing Element

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Sandra Calderon <scalderon@banningca.gov>
Sent: Wednesday, October 6, 2021 10:45 AM
To: Adam Rush <arush@banningca.gov>
Subject: PC Agenda

Hi Adam, do you want the projects below to be listed in this order?

GPA 21-2504 Housing Element
DR 21-7002 for TTM 37898
DR 21-7011 BESS SJ Storage
DR 21-7008 Banning Pointe

Thanks,

AR 014859

COB_2079

AR011457

Sandra Calderon*Development Project Coordinator**Community Development Department***City of Banning***Office: 951-922-3125**Direct Line: 951-922-3190**Direct Fax: 951-922-3128*scalderon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

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AR 014860

COB_2080

AR011458

From: Adam Rush
Sent: Wednesday, October 6, 2021 1:05 PM PDT
To: 'Pam Steele'; alexs@migcom.com
CC: Lisa Edwards; Sandra Calderon; Kevin Sin; 'Charlene So'
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: PW ENG COAs - NEC of Sun Lakes Blvd and Sun Lakes Village Dr 10-6-21.doc, image001.png, image002.jpg
Importance: High

Pam,

Engineering Conditions of Approval that are *hot off the presses*.

Please review and communicate any concerns or questions back to Kevin Sin directly; however, please keep Lisa in the loop.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [Privacy](#)
Direct Fax: 951-922-3128
arush@banningca.gov
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From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, October 6, 2021 1:01 PM
To: Sandra Calderon <scalderon@banningca.gov>
Cc: Mark De Manincor <mdemanincor@banningca.gov>; Adam Rush <arush@banningca.gov>; Arturo Vela <avela@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Hi Sandra,

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Let me know if you have any questions.

Thank you,

AR 014861

COB_2081

AR011459

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
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Banning, CA 92220
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From: Kevin Sin
Sent: Thursday, June 24, 2021 10:58 AM
To: Sandra Calderon <scalderon@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>
Cc: Luis Cardenas (<lcardenas@banningca.gov>) <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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AR 014862

COB_2082

AR011460

<mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; Silvia Tapia <stapia@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; James Wurtz <jwurtz@banningca.gov>; Thomas Miller <tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Rex Miller <rmiller@willdan.com>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,
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Please click on the link below to download documents:

Privacy

Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
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AR 014863

COB_2083

AR011461

From: Adam Rush <arush@banningca.gov>
Sent: Wednesday, October 6, 2021 1:06 PM
To: 'Pam Steele'; alexs@migcom.com
Cc: Lisa Edwards; Sandra Calderon; Kevin Sin; 'Charlene So'
Subject: FW: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: PW ENG COAs - NEC of Sun Lakes Blvd and Sun Lakes Village Dr 10-6-21.doc

Importance: High

Pam,

Engineering Conditions of Approval that are *hot off the presses*.

Please review and communicate any concerns or questions back to Kevin Sin directly; however, please keep Lisa in the loop.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: 760-219-2791

Direct Fax: 951-922-3128

arush@banningca.gov

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Banning, CA 92220

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Sent: Wednesday, October 6, 2021 1:01 PM
To: Sandra Calderon <scalderon@banningca.gov>
Cc: Mark De Manincor <mdemanincor@banningca.gov>; Adam Rush <arush@banningca.gov>; Arturo Vela <avela@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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Let me know if you have any questions.

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Kevin D. Sin, P.E.
Senior Civil Engineer
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Cc: Luis Cardenas <lcardenas@banningca.gov> <lcardenas@banningca.gov>

Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

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<scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Rex Miller <rmiller@willdan.com>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 and provide your comments and/or conditions to the Planning Division by Wednesday, June 23, 2021.

Please click on the link below to download documents:

<https://migcom.egnyte.com/fl/7LgCOgPd1E>

Password:xsbkP4QNgXaL

Thank you,

Sandra Calderon

*Development Project Coordinator
Community Development Department*

City of Banning

Direct Line: 951-922-3190

Direct Fax: 951-922-3128

scalderon@banningca.gov

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**MEMORANDUM
CITY OF BANNING**

DATE: October 6, 2021
TO: Adam Rush, Community Development Director
FROM: Kevin Sin, Senior Civil Engineer
Luis Cardenas, Senior Civil Engineer
SUBJECT: **Engineering Conditions of Approval for DR 21-7008
(NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)**



The Department of Public Works recommends the Conditions of Approval listed herein for the abovementioned project. Unless stated otherwise, all conditions shall be completed by the applicant at no cost to any government agency.

The Applicant may contact the Engineering Division at (951) 922-3130 for compliance with the following conditions:

A. General Requirements

1. A Public Works Permit shall be required prior to commencement of any work within the public right-of-way. The contractor working within the public right-of-way shall submit proof of a Class "A" State Contractor's License, City of Banning Business License, and Liability Insurance. Any existing public improvements, or public improvements not accepted by the City that are damaged during construction shall be removed and replaced as determined by the City Engineer or his/her representative.
2. Prior to the issuance of any grading, construction, or public works permit by the City, the applicant shall obtain any necessary clearances and/or permits from the following agencies:
 - Fire Marshal (access)
 - Public Works Department (grading permits, street improvement permits)
 - Riverside County Flood Control & Water Conservation District (storm drain)
 - California Regional Water Quality Control Board Colorado River Basin (RWQCB)
 - South Coast Air Quality Management District (SCAQMD)

The applicant is responsible for meeting all requirements of permits and/or clearances from the above listed agencies. When the requirements include approval of improvement plans, the applicant shall furnish proof of such approvals when submitting improvements plans to the City.

3. The following improvement plans shall be prepared by a Civil Engineer licensed by the State of California and submitted to the Engineering Division for review and approval. A separate set of plans shall be prepared for each line item listed below. Unless otherwise authorized in writing by the City Engineer, the plans shall utilize the minimum scale specified and shall be drawn on 24" x 36" Mylar film. Plans may be prepared at a larger scale if additional detail or plan clarity is desired (Note: the applicant may be required to prepare other improvement plans not listed here pursuant to improvements required by other agencies and utility purveyors):

- | | |
|---|---|
| a. Rough Grading Plans | 1" = 40' horizontal |
| (All Conditions of Approval shall be reproduced on last sheet of set) | |
| b. Haul Route Plans | 1" = 40' horizontal |
| c. Clearing Plans | 1" = 50' horizontal |
| (Include construction fencing plan) | |
| d. Erosion Control & SWPPP, WQMP | 1" = 40' Horizontal |
| (Note: a, b, c & d shall be reviewed and approved concurrently) | |
| e. Storm Drain Plans | 1" = 40' Horizontal |
| f. Street Improvement Plans | 1" = 40' Horizontal
1" = 4' Vertical |
| g. Precise Grading Plans | 1" = 40' Horizontal |
| h. Landscaping Plans | 1" = 20 Horizontal |
| i. Water Improvement Plans | 1" = 40' Horizontal
1" = 4' Vertical |
| j. Sewer Improvement Plans | 1" = 40' Horizontal
1" = 4' Vertical |

Other engineered improvement plans prepared for City approval that are not listed herein shall be prepared in formats approved by the City Engineer prior to commencing plan preparation.

All off-site plan and profile, street improvement plans and signing & striping plans shall show all existing improvements for a distance of at least 200-feet beyond the project limits, or at a distance sufficient to show any required design transitions.

A small index map shall be included on the title sheet of each set of plans, showing the overall view of the entire work area.

4. Upon completion of construction, the Developer shall furnish the City with reproducible record drawings on Mylar film of all improvement plans that were approved by the City Engineer. Each sheet shall be clearly marked "As-Built" or "As-Constructed" and shall be stamped and signed by the engineer or surveyor certifying the accuracy and completeness of the drawings. The applicant shall have all AutoCAD files submitted to the City, revised to reflect the "As-Built" conditions.

B. Street Improvements/Right-of-Way

5. Construct right-of-way improvements (driveway approach, sidewalk, parkway, raised median, access ramp, street lighting, etc.) fronting the site per City of Banning Standard Drawings. Street lights shall be installed offset of the existing street lights.
6. Installation of a traffic signal at the intersection of Sun Lakes Boulevard, future Driveway 3 (as shown in the TIA) and Country Club Drive. Project applicant shall reach out to the Sun Lakes Country Club staff to discuss impacts to their access.

7. Provide paved golf cart access adjacent to the sidewalk through the property and at the proposed traffic signal entrance.
8. Construct street improvements as identified by the project's traffic impact analysis (TIA).
9. The City and Developer are to enter into a Public Improvement Agreement to guarantee the construction of the public improvements as listed in the Conditions of Approval and as shown on the approved plans. The applicant shall work with the City Attorney's Office to execute the Agreement and pay all related legal processing fees.
10. All street improvement designs shall provide pavement and lane transitions per City of Banning and Caltrans standards for transition to existing street sections.
11. Any public improvements damaged during the course of construction shall be replaced to the satisfaction of the City Engineer, or his/her designee.
12. The applicant shall plant and perpetually maintain trees, shrubs, and ground cover placed in the parkway, slopes adjacent to public right-of-ways constructed in connection with the project. This includes providing irrigation and the clearing of debris and weed removal. The applicant shall be required to enter into a Landscape Maintenance Agreement for the perpetual maintenance of landscaping within the public right-of-way fronting the project site.
13. All required public improvements for the project shall be completed, tested, and approved by the Engineering Division prior to issuance of any Certificate of Occupancy.

C. Grading and Drainage

14. Submit a Drainage Study with hydrologic and hydraulic analysis for developed and undeveloped (existing) conditions to the Engineering Division for review and approval. The study and analysis shall be prepared by a civil engineer licensed by the State of California. Drainage design shall be in accordance with Banning Master Drainage Plan adopted by Riverside County Flood Control and Water Conservation District (RCFCD), RCFCD Hydrology Manual, and standard plans and specifications. The 10-year storm flow shall be contained within the street curbs, and the 100-year storm shall be contained within the street right-of-way; when this criteria is exceeded, additional drainage facilities shall be designed and constructed.
15. At a minimum, all development will make provisions to store runoff from rainfall events up to and including the one-hundred three-hour during event. Post-development peak urban runoff discharge rates shall not exceed pre-development peak urban runoff discharge rates.
16. Prior to issuance of any building permit, the applicant shall install trash filters in all catch basins adjacent to the site and/or will be constructed as part of the storm drain improvements for this development. The trash filters shall comply with the requirements of the Trash Amendment as amended and approved in accordance with California Regional Water Quality Control Board Colorado River Basin Region Order No. R7-2013-0011.
17. If the site is located in a Flood Area as identified in Flood Insurance Rate Map dated August 28, 2008 the developer is responsible for providing a certification by a registered professional engineer or architect demonstrating that encroachments shall not result in any increase in flood levels during the occurrence of the base flood discharge.
18. The project grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained for the release of concentrated or diverted

storm flows. The project shall accept and convey storm flows from the adjacent property to the north.

19. The applicant shall comply with Chapter 13.24 “Stormwater Management Systems” of the Banning Municipal Code (BMC) and Title 18 “Grading, Erosion and Sediment Control” of the California Building Code related to excavation and grading; and, the State Water Resources Control Board’s orders, rules and regulations.

For construction activities including clearing, grading or excavation of land that disturbs one (1) acre or more of land, or that disturbs less than one (1) acre of land, but which is a part of a construction project that encompasses more than one (1) acre of land, the applicant shall be required to submit a Storm Water Pollution Protection Plan (SWPPP) and file a Notice of Intent (NOI) with the Regional Water Quality Control Board.

The applicant shall ensure that the required SWPPP is available for inspection at the project site at all times through and including acceptance of all improvements by the City.

The applicant’s SWPPP shall include provisions for all of the following Best Management Practices (“BMPs”):

- Temporary Soil Stabilization (erosion control).
- Temporary Sediment Control.
- Wind Erosion Control.
- Tracking Control.
- Non-Storm Water Management.
- Waste Management and Materials Pollution Control.

All erosion and sediment control BMPs proposed by the applicant shall be designed using the CASQA BMP handbook and approved by the City Engineer prior to any onsite or offsite grading, pursuant to this project.

The approved SWPPP and BMPs shall remain in effect for the entire duration of project construction until all improvements are completed and accepted by the City.

20. Prior to issuance of any grading or building permit, a Project-Specific Water Quality Management Plan (WQMP) shall be reviewed and approved in accordance with California Regional Water Quality Control Board Colorado River Basin Region Order No. R7-2013-0011.
21. Prior to the issuance of any building permit(s), a precise grading plan shall be submitted to the City Engineer for review and approval. A grading permit shall be obtained prior to commencement of any grading activity.
22. Grading and excavations in the public right-of-way shall be supplemented with a soils and geology report prepared by a professional engineer or geologist licensed by the State of California.
23. Prior to the issuance of a building permit, the applicant shall provide a lot pad certification stamped and signed by a qualified civil engineer or land surveyor. Pad certification shall list the pad elevation as shown on the approved grading plan, the actual pad elevation and the

difference between the two, if any. Such pad certification shall also list the relative compaction of the pad soil.

D. Traffic

24. Prior to the issuance of a grading permit or building permit, the applicant shall submit and obtain approval in writing from the Fire Marshall for the plans for all public or private access drives or streets. The plans shall include plan and sectional views and indicate the grade and width of the access road measured flow-line to flow-line. When a dead-end access exceeds 150 feet or when otherwise required, a clearly marked fire apparatus access turnaround must be provided and approved by the Fire Marshall. Applicable covenant, conditions or restrictions or other approved documents shall contain provisions which prohibit obstructions such as speed bumps/humps, control gates or other modifications within said easement or access road unless prior approval of the Fire Marshall is granted.
25. Driveway grades shall not exceed eight percent unless approved by the City Engineer.
26. Access drives to the public right-of-way shall be restricted to those approved by the City Engineer as shown on the approved plans.
27. Prior to the issuance of any certificate of occupancy, all fire hydrants shall have a blue reflective pavement marker indicating the hydrant location on the street/access driveway as approved by the Fire Marshall, and must be maintained in good condition by the property owner until the street is accepted for maintenance.
28. Prior to the issuance of a grading permit or building permit, the applicant shall conduct a Traffic Impact Analysis and submit the report to the Engineering Division for review and approval. All mitigation identified in the Traffic Impact Analysis shall be implemented by the applicant to the satisfaction of the City Engineer.

E. Trash/Recycling

29. Construction debris shall be disposed of at a certified recycling site. It is the responsibility of the developer to contact the City's franchised solid waste hauler, Waste Management of the Inland Valley, at 1-800-423-9986 for disposal of construction debris.
30. The developer shall participate in the City's recycling and diversion programs by providing a solid waste enclosure to accommodate necessary solid waste containers.
31. All new development projects including, but not limited to, industrial and business buildings and facilities, as well as, multi-family complexes shall provide a solid waste enclosure to accommodate trash, recycle and organics waste bins and/or containers. Solid waste enclosures for multiple tenant properties, such as a shopping center, must design the enclosure to accommodate all waste containers of the property.
32. Solid waste enclosures shall be located on the site to be serviced.
33. The enclosure shall be designed for the exclusive use of housing solid waste containers including trash, recyclable and organics materials.
34. Enclosures Design Criteria:
 - a. The size and dimensions of the trash enclosure shall be based on the required number and size of containers at a minimum accommodating one (1) container each for trash, recyclables and organics materials.

- b. Enclosure shall be architecturally compatible with the primary building on site to provide a coordinated design.
- c. Exterior materials and colors of the enclosure shall match the building walls.
- d. Chain link fencing with or without/plastic slats is prohibited.
- e. Enclosure shall have solid metal or wood gates with latches that can be secured in an open or closed position.
- f. Enclosures shall be constructed in a permanent manner.
- g. Exterior must be fully enclosed with solid roofing to prevent rainfall from entering the enclosure and to prevent wind dispersal, as well as, offsite transport of trash and recycling.
- h. Provide the minimum clearance for collector and user accessibility.
- i. City Engineer approval shall be obtained in writing prior to the construction of any solid waste enclosure.

F. Water

- 34. Submit water improvement plans to the Public Works Department along with anticipated peak water demands and hydraulic analysis to justify pipe sizes. Pipes shall be ductile iron, wrapped in V-Bio polyethylene. All water services 2" and smaller shall use plastic-coated copper tubing.
- 35. Separate irrigation meters will be required for outdoor use.
- 36. All commercial, industrial, and irrigation water services shall have Reduced Pressure Principle Backflow Preventors. RP Backflow Preventors shall be of a model approved by USC.
- 37. On-site fire hydrants shall be part of a privately-owned and maintained fire protection system. Private fire hydrants shall be painted safety red, to differentiate from publicly-owned fire hydrants which are typically yellow.
- 38. Because of the project's location at a pressure zone boundary, an above-ground pressure regulating station may be required, pending review of the water improvement plans by the City Engineer.

G. Recycled Water

- 39. Plans for a purple-pipe non-potable irrigation system shall be designed and submitted to the Public Works Department. Pipes shall be ductile iron, wrapped in purple V-Bio polyethylene. All water services 2" and smaller shall use plastic-coated copper tubing. Plans should include a signage plan typical of a non-potable irrigation system.
- 40. An interim connection between the potable and non-potable systems shall be installed by way of a single backflow preventor, until such a time as the City's non-potable backbone system is extended west along Sun Lakes Blvd.

H. Wastewater

- 41. A sewer improvement plan shall be prepared and submitted to the Public Works Department, extending the public sewer from Sun Lakes Blvd. Sewer main material shall be PVC SDR

26. Sewer system design shall avoid placing manholes in low spots, or connecting storm water drainage facilities to the sewer system.

42. When available, estimated sewer discharge quantities and quality shall be submitted to the Public Works Department for review. Depending on the nature of the discharge, grease interceptor(s) may be required.

I. Fees

43. Plan check fees for professional report review (geotechnical, drainage, WQMP, etc.), and all improvement plans review, shall be paid at the time of submittal of said documents for review and approval in accordance with the fee schedule in effect at the time of submittal.
44. Public Works Inspection fees shall be paid prior to issuance of any permits in accordance with the fee schedule in effect at time of time of scheduling.
45. A plan storage fee shall be paid for any engineering plans that may be required prior to issuance of certificate of occupancy in accordance with the fee schedule in effect at the time the fee is paid.
46. Water, Sewer, and Non-potable impact fees shall be paid prior to issuance of Building permit. Water meter and water meter installation fees shall be due prior to meter release.

J. Final Parcel Map

47. Prior to approval of the Final Map, the applicant shall construct on-site and off-site improvements required for the development of the property in accordance with the approved plans and satisfy its obligations for same, or shall furnish a fully secured and executed Subdivision Improvement Agreement on terms agreed to by the Parties guaranteeing the construction of such improvements and the satisfaction of its obligations for same, or shall agree to any combination thereof. For off-site improvements, the procedures and requirements of Government Code Section 66462.5 shall apply, including the potential acquisition of those rights by the City or waiver of the City's requirement to obtain those rights.
48. Security for the construction of public improvements in accordance with Government Code Section 66499 shall be as follows:
- | | |
|---------------------------|------------------------|
| Faithful Performance Bond | 100% of estimated cost |
| Labor and Material Bond | 100% of estimated cost |
| Monumentation Bond | \$5,000.00 |
49. Securities for the public improvements shall be on file with the City Clerk prior to scheduling the final map for approval by City Council. Unit prices for bonding estimates shall be those specified or approved by the City Engineer.
50. Revisions to the tentative map during plan check including, but not limited to, lot line alignments, easements, improvement plan revisions, and similar minor changes that are in substantial compliance with the tentative map, or associated conditions of approval, shall be administratively approved through the plan check process with the mutual consent and approval of the Developer, the Community Development Director and City Engineer. Final maps shall be amended in accordance with the Subdivision Map Act.

51. Prior to approval of any final map the applicant shall identify and include in its improvement plans those routine structural and non-structural Best Management Practices (BMP's).
52. Submit a copy of the title report, closure calculations, and any separate instruments or necessary right-of-way documents to the Engineering Division prior to final map approval.
53. An original Mylar of the final map (after recordation) shall be provided to the City for the record files.
54. Public improvements shall be completed and accepted by City of Banning prior to release of Faithful Performance Bond and Labor and Material Bond for such improvements. Faithful Performance Bond for applicable public improvements shall be reduced to 10% once City accepts improvements into maintenance period. Final 10% to serve as the maintenance bond for the 1-year maintenance period.
55. A record of all street centerline monument ties shall be submitted to the Engineering Division upon completion of improvements or prior to release of Monumentation Bond.

From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, October 6, 2021 1:01 PM
To: Sandra Calderon
Cc: Mark De Manincor; Adam Rush; Arturo Vela; Luis Cardenas
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057
Attachments: PW ENG COAs - NEC of Sun Lakes Blvd and Sun Lakes Village Dr 10-6-21.doc

Hi Sandra,

Attached are the updated Conditions of Approval for the subject development. We added a condition (#7) to include a paved golf cart access through the property and at the future traffic signal entrance to the site.

Let me know if you have any questions.

Thank you,

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Kevin Sin
Sent: Thursday, June 24, 2021 10:58 AM
To: Sandra Calderon <scalderon@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>
Cc: Luis Cardenas (lcardenas@banningca.gov) <lcardenas@banningca.gov>
Subject: RE: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Sandra, Mark,

Attached are the conditions of approval for the subject DR 21-7008. Our plan checker (ERSC) is still reviewing the preliminary documents. Will forward any comments to you once I've received them.

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
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From: Sandra Calderon <scalderon@banningca.gov>

Sent: Wednesday, June 09, 2021 3:56 PM

To: Adam Rush <arush@banningca.gov>; Arturo Vela <avela@banningca.gov>; Brandon Robinson <brobinson@banningca.gov>; Art Chacon <achacon@banningca.gov>; Perry Gerdes <pgerdes@banningca.gov>; Luis Cardenas <lcardenas@banningca.gov>; Kevin Sin <ksin@banningca.gov>; Doug Schulze <dschulze@banningca.gov>; Mark De Manincor <mdemanincor@banningca.gov>; Ben Coffey <bcoffey@banningca.gov>; Matthew Hamner <mhamner@banningca.gov>; Ralph Wright <rwright@banningca.gov>; Patrick Johnson <pjohnson@willdan.com>; Silvia Tapia <stapia@banningca.gov>; Paul Lindley <plindley@banningca.gov>; Jeff Horn <jhorn@banningca.gov>; James Wurtz <jwurtz@banningca.gov>; Thomas Miller <Tmiller@banningca.gov>; Sandra Castaneda <scastaneda@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Ann Marie Loconte <amloconte@banningca.gov>; Cherie Johnson <cjohnson@banningca.gov>; Rex Miller <rmiller@willdan.com>

Subject: DR 21-7008 NEC of Sun Lakes Blvd. and Sun Lakes Village Dr./419-140-057

Good afternoon everyone,

Please review DR 21-7008 and provide your comments and/or conditions to the Planning Division by Wednesday, June 23, 2021.

Please click on the link below to download documents:

<https://migcom.egnyte.com/fl/7LgCOgPd1E>

Password:xsbkP4QNgXaL

Thank you,

Sandra Calderon
Development Project Coordinator
Community Development Department
City of Banning
Direct Line: 951-922-3190
Direct Fax: 951-922-3128
scalderon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
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**MEMORANDUM
CITY OF BANNING**

DATE: October 6, 2021
TO: Adam Rush, Community Development Director
FROM: Kevin Sin, Senior Civil Engineer
Luis Cardenas, Senior Civil Engineer
SUBJECT: **Engineering Conditions of Approval for DR 21-7008
(NEC of Sun Lakes Blvd. and Sun Lakes Village Dr.)**



The Department of Public Works recommends the Conditions of Approval listed herein for the abovementioned project. Unless stated otherwise, all conditions shall be completed by the applicant at no cost to any government agency.

The Applicant may contact the Engineering Division at (951) 922-3130 for compliance with the following conditions:

A. General Requirements

1. A Public Works Permit shall be required prior to commencement of any work within the public right-of-way. The contractor working within the public right-of-way shall submit proof of a Class "A" State Contractor's License, City of Banning Business License, and Liability Insurance. Any existing public improvements, or public improvements not accepted by the City that are damaged during construction shall be removed and replaced as determined by the City Engineer or his/her representative.
2. Prior to the issuance of any grading, construction, or public works permit by the City, the applicant shall obtain any necessary clearances and/or permits from the following agencies:
 - Fire Marshal (access)
 - Public Works Department (grading permits, street improvement permits)
 - Riverside County Flood Control & Water Conservation District (storm drain)
 - California Regional Water Quality Control Board Colorado River Basin (RWQCB)
 - South Coast Air Quality Management District (SCAQMD)

The applicant is responsible for meeting all requirements of permits and/or clearances from the above listed agencies. When the requirements include approval of improvement plans, the applicant shall furnish proof of such approvals when submitting improvements plans to the City.

3. The following improvement plans shall be prepared by a Civil Engineer licensed by the State of California and submitted to the Engineering Division for review and approval. A separate set of plans shall be prepared for each line item listed below. Unless otherwise authorized in writing by the City Engineer, the plans shall utilize the minimum scale specified and shall be drawn on 24" x 36" Mylar film. Plans may be prepared at a larger scale if additional detail or plan clarity is desired (Note: the applicant may be required to prepare other improvement plans not listed here pursuant to improvements required by other agencies and utility purveyors):

- | | |
|---|---|
| a. Rough Grading Plans | 1" = 40' horizontal |
| (All Conditions of Approval shall be reproduced on last sheet of set) | |
| b. Haul Route Plans | 1" = 40' horizontal |
| c. Clearing Plans | 1" = 50' horizontal |
| (Include construction fencing plan) | |
| d. Erosion Control & SWPPP, WQMP | 1" = 40' Horizontal |
| (Note: a, b, c & d shall be reviewed and approved concurrently) | |
| e. Storm Drain Plans | 1" = 40' Horizontal |
| f. Street Improvement Plans | 1" = 40' Horizontal
1" = 4' Vertical |
| g. Precise Grading Plans | 1" = 40' Horizontal |
| h. Landscaping Plans | 1" = 20 Horizontal |
| i. Water Improvement Plans | 1" = 40' Horizontal
1" = 4' Vertical |
| j. Sewer Improvement Plans | 1" = 40' Horizontal
1" = 4' Vertical |

Other engineered improvement plans prepared for City approval that are not listed herein shall be prepared in formats approved by the City Engineer prior to commencing plan preparation.

All off-site plan and profile, street improvement plans and signing & striping plans shall show all existing improvements for a distance of at least 200-feet beyond the project limits, or at a distance sufficient to show any required design transitions.

A small index map shall be included on the title sheet of each set of plans, showing the overall view of the entire work area.

4. Upon completion of construction, the Developer shall furnish the City with reproducible record drawings on Mylar film of all improvement plans that were approved by the City Engineer. Each sheet shall be clearly marked "As-Built" or "As-Constructed" and shall be stamped and signed by the engineer or surveyor certifying the accuracy and completeness of the drawings. The applicant shall have all AutoCAD files submitted to the City, revised to reflect the "As-Built" conditions.

B. Street Improvements/Right-of-Way

5. Construct right-of-way improvements (driveway approach, sidewalk, parkway, raised median, access ramp, street lighting, etc.) fronting the site per City of Banning Standard Drawings. Street lights shall be installed offset of the existing street lights.
6. Installation of a traffic signal at the intersection of Sun Lakes Boulevard, future Driveway 3 (as shown in the TIA) and Country Club Drive. Project applicant shall reach out to the Sun Lakes Country Club staff to discuss impacts to their access.

7. Provide paved golf cart access adjacent to the sidewalk through the property and at the proposed traffic signal entrance.
8. Construct street improvements as identified by the project's traffic impact analysis (TIA).
9. The City and Developer are to enter into a Public Improvement Agreement to guarantee the construction of the public improvements as listed in the Conditions of Approval and as shown on the approved plans. The applicant shall work with the City Attorney's Office to execute the Agreement and pay all related legal processing fees.
10. All street improvement designs shall provide pavement and lane transitions per City of Banning and Caltrans standards for transition to existing street sections.
11. Any public improvements damaged during the course of construction shall be replaced to the satisfaction of the City Engineer, or his/her designee.
12. The applicant shall plant and perpetually maintain trees, shrubs, and ground cover placed in the parkway, slopes adjacent to public right-of-ways constructed in connection with the project. This includes providing irrigation and the clearing of debris and weed removal. The applicant shall be required to enter into a Landscape Maintenance Agreement for the perpetual maintenance of landscaping within the public right-of-way fronting the project site.
13. All required public improvements for the project shall be completed, tested, and approved by the Engineering Division prior to issuance of any Certificate of Occupancy.

C. Grading and Drainage

14. Submit a Drainage Study with hydrologic and hydraulic analysis for developed and undeveloped (existing) conditions to the Engineering Division for review and approval. The study and analysis shall be prepared by a civil engineer licensed by the State of California. Drainage design shall be in accordance with Banning Master Drainage Plan adopted by Riverside County Flood Control and Water Conservation District (RCFCD), RCFCD Hydrology Manual, and standard plans and specifications. The 10-year storm flow shall be contained within the street curbs, and the 100-year storm shall be contained within the street right-of-way; when this criteria is exceeded, additional drainage facilities shall be designed and constructed.
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19. The applicant shall comply with Chapter 13.24 “Stormwater Management Systems” of the Banning Municipal Code (BMC) and Title 18 “Grading, Erosion and Sediment Control” of the California Building Code related to excavation and grading; and, the State Water Resources Control Board’s orders, rules and regulations.

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42. When available, estimated sewer discharge quantities and quality shall be submitted to the Public Works Department for review. Depending on the nature of the discharge, grease interceptor(s) may be required.

I. Fees

43. Plan check fees for professional report review (geotechnical, drainage, WQMP, etc.), and all improvement plans review, shall be paid at the time of submittal of said documents for review and approval in accordance with the fee schedule in effect at the time of submittal.
44. Public Works Inspection fees shall be paid prior to issuance of any permits in accordance with the fee schedule in effect at time of time of scheduling.
45. A plan storage fee shall be paid for any engineering plans that may be required prior to issuance of certificate of occupancy in accordance with the fee schedule in effect at the time the fee is paid.
46. Water, Sewer, and Non-potable impact fees shall be paid prior to issuance of Building permit. Water meter and water meter installation fees shall be due prior to meter release.

J. Final Parcel Map

47. Prior to approval of the Final Map, the applicant shall construct on-site and off-site improvements required for the development of the property in accordance with the approved plans and satisfy its obligations for same, or shall furnish a fully secured and executed Subdivision Improvement Agreement on terms agreed to by the Parties guaranteeing the construction of such improvements and the satisfaction of its obligations for same, or shall agree to any combination thereof. For off-site improvements, the procedures and requirements of Government Code Section 66462.5 shall apply, including the potential acquisition of those rights by the City or waiver of the City's requirement to obtain those rights.
48. Security for the construction of public improvements in accordance with Government Code Section 66499 shall be as follows:
- | | |
|---------------------------|------------------------|
| Faithful Performance Bond | 100% of estimated cost |
| Labor and Material Bond | 100% of estimated cost |
| Monumentation Bond | \$5,000.00 |
49. Securities for the public improvements shall be on file with the City Clerk prior to scheduling the final map for approval by City Council. Unit prices for bonding estimates shall be those specified or approved by the City Engineer.
50. Revisions to the tentative map during plan check including, but not limited to, lot line alignments, easements, improvement plan revisions, and similar minor changes that are in substantial compliance with the tentative map, or associated conditions of approval, shall be administratively approved through the plan check process with the mutual consent and approval of the Developer, the Community Development Director and City Engineer. Final maps shall be amended in accordance with the Subdivision Map Act.

51. Prior to approval of any final map the applicant shall identify and include in its improvement plans those routine structural and non-structural Best Management Practices (BMP's).
52. Submit a copy of the title report, closure calculations, and any separate instruments or necessary right-of-way documents to the Engineering Division prior to final map approval.
53. An original Mylar of the final map (after recordation) shall be provided to the City for the record files.
54. Public improvements shall be completed and accepted by City of Banning prior to release of Faithful Performance Bond and Labor and Material Bond for such improvements. Faithful Performance Bond for applicable public improvements shall be reduced to 10% once City accepts improvements into maintenance period. Final 10% to serve as the maintenance bond for the 1-year maintenance period.
55. A record of all street centerline monument ties shall be submitted to the Engineering Division upon completion of improvements or prior to release of Monumentation Bond.

From: Adam Rush
Sent: Thursday, October 7, 2021 8:36 AM PDT
To: James Wurtz
CC: Doug Schulze; Lisa Edwards; Sandra Calderon; Arturo Vela
Subject: Re: Warehouse project behind Albertsons

James,

This the same project indeed and is being called the Banning Point project.

The implementing development is consistent with the recently amended Specific Plan Amendment. In fact, the proposed warehouse building is smaller than what the Specific Plan Amendment allows.

Planning staff has reviewed the environmental documents associated with the Design Review and also find them consistent. Lastly, the previously certified SEIR prepared a Health Risk Assessment and determined that health risks were not significant, over the aggregate and long term.

Lastly, it's important to note that this Project will be heard before the Planning Commission on October 19th. Public Hearing Property Owner Notification Letters will go out today and likely drop in mail boxes by Monday or Tuesday of next week.

Please let me know if you have any questions or need further clarification.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning

[99 Ramsey Street](#)

[Banning, CA, 92220](#)

Office: [\(951\) 922-3131](#)

Fax: [\(951\) 922-3128](#)

Cell: [\(760\) 219-2791](#)

Email: arush@banningca.gov

www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

AR 014885

COB_0084

AR011483

From: Jagger Everett
Sent: Thursday, October 7, 2021 9:40 AM PDT
To: Adam Rush
Subject: RE: Warehouse project behind Albertsons

Thank you, Adam, for keeping this moving! We should have our updated submittal in today.



Jagger Everett
Director of Development

O: 602.600.6363
M: 602.769.6013

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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From: Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 8:37 AM
To: James Wurtz <jwurtz@banningca.gov>
Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>
Subject: Re: Warehouse project behind Albertsons

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AR 014886
COB_0085
AR011484

Please let me know if you have any questions or need further clarification.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [\(760\) 219-2791](#)
Email: arush@banningca.gov
www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

AR 014887

COB_0086

AR011485

From: Pam Steele
Sent: Thursday, October 7, 2021 11:28 AM PDT
To: Jagger Everett
CC: Adam Rush; Lisa Edwards
Subject: Re: Warehouse project behind Albertsons

Yes

On Thu, Oct 7, 2021 at 11:10 AM Jagger Everett <jaggere@creationequity.com> wrote:

Sounds good, Pam let's connect offline to confirm who all we need on the call.

Thank you



Jagger Everett
Director of Development

O: 602.600.6363
M: 602.769.6013

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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From: Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 11:08 AM
To: Jagger Everett <jaggere@creationequity.com>
Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Thank you Jagger. I'm confident that a Zoom participation is perfectly fine. However, I will ask a member of my contract planning staff, Mr. Ernie Perea, who was the primary writer of the Specific Plan Amendment EIR on the Zoom as well.

AR 014888

COB_0659

AR011486

Lastly, I would highly recommend that BOTH your Traffic and Air Quality/GHG Consultant be available to participate virtually as well. This may be Haseeb or Aric, or both.

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning
Direct Line: 951-922-3131

Cell Line: 760-219-2791

Direct Fax: 951-922-3128

arush@banningca.gov

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Banning, CA 92220

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From: Jagger Everett <jaggere@creationequity.com>
Sent: Thursday, October 7, 2021 10:51 AM
To: Adam Rush <arush@banningca.gov>
Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Yes, Pam forwarded me that email. I believe the response to our environmental documents was extremely supportive. Please let me know how we can help communicate that message. Will it

AR 014889

COB_0660

AR011487

be necessary for someone from our development team to be present for the Planning Commission hearing?



Jagger Everett
Director of Development

O: 602.600.6363
M: 602.769.6013

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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Adam Rush <arush@banningca.gov>

Sent: Thursday, October 7, 2021 10:48 AM

To: Jagger Everett <jaggere@creationequity.com>

Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>

Subject: RE: Warehouse project behind Albertsons

Thank you Jagger and you are very welcome!

I will need to coordinate with Pam on the environmental as the Sun Lakes news service is requesting some of the environmental documents.

AR 014890

COB_0661

AR011488

#12343

Sincerely,

Adam B. Rush, M.A., AICP

Community Development Director

Community Development Department

City of Banning

Direct Line: 951-922-3131

Cell Line: 760-219-2791

Direct Fax: 951-922-3128

arush@banningca.gov

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From: Jagger Everett <jaggere@creationequity.com>

Sent: Thursday, October 7, 2021 9:41 AM

To: Adam Rush <arush@banningca.gov>

Subject: RE: Warehouse project behind Albertsons

Thank you, Adam, for keeping this moving! We should have our updated submittal in today.



Jagger Everett

Director of Development

O: 602.600.6363

M: 602.769.6013

AR 014891

COB_0662

AR011489

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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Adam Rush <arush@banningca.gov>

Sent: Thursday, October 7, 2021 8:37 AM

To: James Wurtz <jwurtz@banningca.gov>

Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>

Subject: Re: Warehouse project behind Albertsons

James,

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Please let me know if you have any questions or need further clarification.

Sincerely,

AR 014892

COB_0663

AR011490

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning

99 Ramsey Street

Banning, CA, 92220

Office: [\(951\) 922-3131](tel:(951)922-3131)

Fax: [\(951\) 922-3128](tel:(951)922-3128)

Cell: [\(760\) 219-2791](tel:(760)219-2791)

Email: arush@banningca.gov

www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

--

Pam Steele

Principal

Because of the Shelter at Home order, we are frequently working from home. Please call my cell phone (951-733-5240) to reach me. Thanks!



PLANNING | DESIGN | COMMUNICATIONS | MANAGEMENT | SCIENCE | TECHNOLOGY

1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8360, **cell: 951-733-5240**
pams@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)
WE'VE MOVED! PLEASE NOTE OUR NEW ADDRESS ABOVE.

AR 014893

COB_0664

AR011491

From: Jagger Everett
Sent: Thursday, October 7, 2021 11:10 AM PDT
To: Adam Rush
CC: 'Pam Steele'; Lisa Edwards
Subject: RE: Warehouse project behind Albertsons
Attachments: image001.jpg

Sounds good, Pam let's connect offline to confirm who all we need on the call.

Thank you



Jagger Everett
Director of Development

O: 602.600.6363

M: Privacy

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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Sent: Thursday, October 7, 2021 11:08 AM
To: Jagger Everett <jaggere@creationequity.com>
Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Thank you Jagger. I'm confident that a Zoom participation is perfectly fine. However, I will ask a member of my contract planning staff, Mr. Ernie Perea, who was the primary writer of the Specific Plan Amendment EIR on the Zoom as well.

Lastly, I would **highly recommend** that BOTH your Traffic and Air Quality/GHG Consultant be available to participate virtually as well. This may be Haseeb or Aric, or both.

AR 014894

COB_1341

AR011492

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
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www.banningca.gov



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From: Jagger Everett <jaggere@creationequity.com>
Sent: Thursday, October 7, 2021 10:51 AM
To: Adam Rush <arush@banningca.gov>
Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Yes, Pam forwarded me that email. I believe the response to our environmental documents was extremely supportive. Please let me know how we can help communicate that message. Will it be necessary for someone from our development team to be present for the Planning Commission hearing?



Jagger Everett
Director of Development

O: 602.600.6363
M: [REDACTED]

jaggere@creationequity.com
www.creationequity.com

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Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 10:48 AM
To: Jagger Everett <jaggere@creationequity.com>

AR 014895

COB_1342

AR011493

Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Thank you Jagger and you are very welcome!

I will need to coordinate with Pam on the environmental as the Sun Lakes news service is requesting some of the environmental documents.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
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Cell Line:  Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
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From: Jagger Everett <jaggere@creationequity.com>
Sent: Thursday, October 7, 2021 9:41 AM
To: Adam Rush <arush@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

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Jagger Everett
Director of Development

O: 602.600.6363
M:  Privacy

jaggere@creationequity.com
www.creationequity.com

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AR 014896

COB_1343

AR011494

Adam Rush <arush@banningca.gov>

Sent: Thursday, October 7, 2021 8:37 AM

To: James Wurtz <jwurtz@banningca.gov>

Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>

Subject: Re: Warehouse project behind Albertsons

James,

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Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

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[Banning, CA, 92220](#)
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Fax: [\(951\) 922-3128](tel:(951)922-3128)
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

AR 014897

COB_1344

AR011495

From: James Wurtz
Sent: Thursday, October 7, 2021 8:45 AM PDT
To: Adam Rush
Subject: RE: Warehouse project behind Albertsons
Attachments: image001.jpg

They are requesting Site Plan, Traffic Studies and Environmental. Is this something we can or want to provide or should I ask that they attend the Oct 19th Planning Commission Meeting?

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: [REDACTED]
jwurtz@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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Sent: Thursday, October 7, 2021 8:37 AM
To: James Wurtz <jwurtz@banningca.gov>
Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>
Subject: Re: Warehouse project behind Albertsons

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Please let me know if you have any questions or need further clarification.

AR 014898

COB_2084

AR011496

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [REDACTED] Privacy
Email: arush@banningca.gov
www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

[REDACTED]

AR 014899

COB_2085

AR011497

From: Adam Rush
Sent: Thursday, October 7, 2021 9:38 AM PDT
To: James Wurtz
Subject: RE: Warehouse project behind Albertsons
Attachments: image001.jpg

Is this a request from the Press?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: James Wurtz <jwurtz@banningca.gov>
Sent: Thursday, October 7, 2021 8:46 AM
To: Adam Rush <arush@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

They are requesting Site Plan, Traffic Studies and Environmental. Is this something we can or want to provide or should I ask that they attend the Oct 19th Planning Commission Meeting?

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: [REDACTED]
jwurtz@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
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AR 014900

COB_2086

AR011498

From: Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 8:37 AM
To: James Wurtz <jwurtz@banningca.gov>
Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>
Subject: Re: Warehouse project behind Albertsons

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Please let me know if you have any questions or need further clarification.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

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[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](tel:(951)922-3131)
Fax: [\(951\) 922-3128](tel:(951)922-3128)
Cell: Privacy
Email: arush@banningca.gov
www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

AR 014901

COB_2087

AR011499

From: Joshua Monzon
Sent: Thursday, October 7, 2021 9:44 AM PDT
To: Kevin Sin; alexs@migcom.com
CC: Adam Rush; Pam Steele; Lisa Edwards
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)
Attachments: 21-3010-0015 Payments Due Invoice - PAID.pdf, image002.png, image003.png

Good morning everyone,

This has been paid.

Thank you and please let me know if there are any questions,

Joshua Monzon

Office Specialist

Public Works

City of Banning

Office: 951.922.3130

Direct Line: 951-922-3139

Fax: 951-922-3141

jmonzon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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From: Kevin Sin <ksin@banningca.gov>

Sent: Wednesday, September 15, 2021 4:44 PM

To: alexs@migcom.com; Joshua Monzon <jmonzon@banningca.gov>

Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>

Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Alex,

Public Works/Engineering will be reviewing the two traffic related memos only. The plan check fee is \$2,800 payable to the City of Banning. You may pay the fee at City Hall or mail the check to the address below.

Public Works Department
99 E. Ramsey Street
Banning, CA 92220
Attention: Josh Monzon

Thank you and please let me know if you have any questions.

AR 014902

COB_2088

AR011500

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 3:08 PM
To: Kevin Sin <ksin@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: Banning Point VMT & Traffic Study Review (DR 21-7008)

Kevin/Joshua,

Good afternoon. On August 24th, we submitted studies for review associated with our Design Review application DR 21-7008. We just became aware today that additional review fees are due in order for Engineering to review these reports. Lisa Edwards asked us to contact you in order to determine the fees due. Would you please respond with an invoice so we can get this paid as soon as possible?

The studies that were submitted are attached just in case you need anything from them in order to determine the review fee.

Thank you,

Alex Steele
Senior Associate Planner



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1650 Spruce Street, Suite 106
Riverside, California 92507 | USA
office: 951-787-9222 extension: 8330 cell: your-email@migcom.com
www.migcom.com
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AR 014903

COB_2089

AR011501

From: Kevin Sin
Sent: Thursday, October 7, 2021 10:09 AM PDT
To: Joshua Monzon
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)
Attachments: image001.png, image002.png

I think your stamp is off by a month. 😊

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Joshua Monzon <jmonzon@banningca.gov>
Sent: Thursday, October 07, 2021 9:44 AM
To: Kevin Sin <ksin@banningca.gov>; alexs@migcom.com
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Good morning everyone,

This has been paid.

Thank you and please let me know if there are any questions,

Joshua Monzon
Office Specialist
Public Works
City of Banning
Office: 951.922.3130
Direct Line: 951-922-3139
Fax: 951-922-3141
jmonzon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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AR 014904

COB_2090

AR011502

From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, September 15, 2021 4:44 PM
To: alexs@migcom.com; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Alex,

Public Works/Engineering will be reviewing the two traffic related memos only. The plan check fee is \$2,800 payable to the City of Banning. You may pay the fee at City Hall or mail the check to the address below.

Public Works Department
99 E. Ramsey Street
Banning, CA 92220
Attention: Josh Monzon

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 3:08 PM
To: Kevin Sin <ksin@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: Banning Point VMT & Traffic Study Review (DR 21-7008)

Kevin/Joshua,

Good afternoon. On August 24th, we submitted studies for review associated with our Design Review application DR 21-7008. We just became aware today that additional review fees are due in order for Engineering to review these reports. Lisa Edwards asked us to contact you in order to determine the fees due. Would you please respond with an invoice so we can get this paid as soon as possible?

AR 014905
COB_2091
AR011503

The studies that were submitted are attached just in case you need anything from them in order to determine the review fee.

Thank you,

Alex Steele

Senior Associate Planner



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Riverside, California 92507 | USA
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your-email@migcom.com
www.migcom.com
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AR 014906

COB_2092

AR011504

From: Joshua Monzon
Sent: Thursday, October 7, 2021 10:10 AM PDT
To: _Utility Billing
CC: Kevin Sin
Subject: FW: Banning Point VMT & Traffic Study Review (DR 21-7008)
Attachments: 21-3010-0015 Payments Due Invoice - PAID.pdf, image001.png, image002.png

FYI - Whoever stamped this invoice (attached) still has September on his or her stamp. This was earlier today.

Thank you and please let me know if there are any questions,

Joshua Monzon
Office Specialist
Public Works
City of Banning
Office: 951.922.3130
Direct Line: 951-922-3139
Fax: 951-922-3141
jmonzon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Kevin Sin <ksin@banningca.gov>
Sent: Thursday, October 7, 2021 10:09 AM
To: Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

I think your stamp is off by a month. 😊

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Joshua Monzon <jmonzon@banningca.gov>
Sent: Thursday, October 07, 2021 9:44 AM

AR 014907
COB_2093
AR011505

To: Kevin Sin <ksin@banningca.gov>; alexs@migcom.com
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Good morning everyone,

This has been paid.

Thank you and please let me know if there are any questions,

Joshua Monzon

Office Specialist

Public Works

City of Banning

Office: 951.922.3130

Direct Line: 951-922-3139

Fax: 951-922-3141

jmonzon@banningca.gov

99 E. Ramsey Street

Banning, CA 92220

www.banningca.gov



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Sent: Wednesday, September 15, 2021 4:44 PM
To: alexs@migcom.com; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Alex,

Public Works/Engineering will be reviewing the two traffic related memos only. The plan check fee is \$2,800 payable to the City of Banning. You may pay the fee at City Hall or mail the check to the address below.

Public Works Department
99 E. Ramsey Street
Banning, CA 92220
Attention: Josh Monzon

Thank you and please let me know if you have any questions.

AR 014908
COB_2094
AR011506

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 3:08 PM
To: Kevin Sin <ksin@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: Banning Point VMT & Traffic Study Review (DR 21-7008)

Kevin/Joshua,

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The studies that were submitted are attached just in case you need anything from them in order to determine the review fee.

Thank you,

Alex Steele
Senior Associate Planner



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your-email@migcom.com
www.migcom.com
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AR 014909

COB_2095

AR011507

From: Liliana Mascorro
Sent: Thursday, October 7, 2021 10:22 AM PDT
To: Joshua Monzon; _Utility Billing
CC: Kevin Sin
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)
Attachments: image003.jpg, image004.png, image005.png

Great catch, Josh!

I'll let the rep know..

Kind regards,

Liliana Mascorro
Utility Financial Analyst/Interim Purchasing Manager
Fiscal Services Department
City of Banning
Direct Line: (951) 922-3119
LMascorro@banningca.gov
P.O. Box 998
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Joshua Monzon <jmonzon@banningca.gov>
Sent: Thursday, October 7, 2021 10:11 AM
To: _Utility Billing <UtilityBilling@banningca.gov>
Cc: Kevin Sin <ksin@banningca.gov>
Subject: FW: Banning Point VMT & Traffic Study Review (DR 21-7008)

FYI - Whoever stamped this invoice (attached) still has September on his or her stamp. This was earlier today.

Thank you and please let me know if there are any questions,

Joshua Monzon
Office Specialist
Public Works
City of Banning
Office: 951.922.3130
Direct Line: 951-922-3139
Fax: 951-922-3141
jmonzon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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AR 014910

COB_2096

AR011508

responsible for delivering the message to the intended recipient, if you have received this communication in error, please notify us immediately by telephone. Thank you.

From: Kevin Sin <ksin@banningca.gov>
Sent: Thursday, October 7, 2021 10:09 AM
To: Joshua Monzon <jmonzon@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

I think your stamp is off by a month. 😊

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Joshua Monzon <jmonzon@banningca.gov>
Sent: Thursday, October 07, 2021 9:44 AM
To: Kevin Sin <ksin@banningca.gov>; alexs@migcom.com
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Good morning everyone,

This has been paid.

Thank you and please let me know if there are any questions,

Joshua Monzon
Office Specialist
Public Works
City of Banning
Office: 951.922.3130
Direct Line: 951-922-3139
Fax: 951-922-3141
jmonzon@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
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AR 014911

COB_2097

AR011509

responsible for delivering the message to the intended recipient, if you have received this communication in error, please notify us immediately by telephone. Thank you.

From: Kevin Sin <ksin@banningca.gov>
Sent: Wednesday, September 15, 2021 4:44 PM
To: alexs@migcom.com; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Banning Point VMT & Traffic Study Review (DR 21-7008)

Alex,

Public Works/Engineering will be reviewing the two traffic related memos only. The plan check fee is \$2,800 payable to the City of Banning. You may pay the fee at City Hall or mail the check to the address below.

Public Works Department
99 E. Ramsey Street
Banning, CA 92220
Attention: Josh Monzon

Thank you and please let me know if you have any questions.

Kevin D. Sin, P.E.
Senior Civil Engineer
Public Works Department
City of Banning
Direct Line: 951-922-3140
Direct Fax: 951-922-3141
ksin@banningca.gov
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From: Alex Steele <alexs@migcom.com>
Sent: Wednesday, September 15, 2021 3:08 PM
To: Kevin Sin <ksin@banningca.gov>; Joshua Monzon <jmonzon@banningca.gov>
Cc: Adam Rush <arush@banningca.gov>; Pam Steele <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: Banning Point VMT & Traffic Study Review (DR 21-7008)

Kevin/Joshua,

Good afternoon. On August 24th, we submitted studies for review associated with our Design Review application DR 21-7008. We just became aware today that additional review fees are due in order for

AR 014912

COB_2098

AR011510

Engineering to review these reports. Lisa Edwards asked us to contact you in order to determine the fees due. Would you please respond with an invoice so we can get this paid as soon as possible?

The studies that were submitted are attached just in case you need anything from them in order to determine the review fee.

Thank you,

Alex Steele

Senior Associate Planner



PLANNING

DESIGN

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SCIENCE

TECHNOLOGY

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Riverside, California 92507 | USA
office: 951-787-9222 extension: 8330 cell: [REDACTED]
your-email@migcom.com
www.migcom.com
[facebook](#) [twitter](#) [linkedin](#) [instagram](#)

AR 014913

COB_2099

AR011511

From: Adam Rush
Sent: Thursday, October 7, 2021 10:48 AM PDT
To: 'Jagger Everett'
CC: 'Pam Steele'; Lisa Edwards
Subject: RE: Warehouse project behind Albertsons
Attachments: image001.jpg

Thank you Jagger and you are very welcome!

I will need to coordinate with Pam on the environmental as the Sun Lakes news service is requesting some of the environmental documents.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Jagger Everett <jaggere@creationequity.com>
Sent: Thursday, October 7, 2021 9:41 AM
To: Adam Rush <arush@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Thank you, Adam, for keeping this moving! We should have our updated submittal in today.



Jagger Everett
Director of Development

O: 602.600.6363
M: [REDACTED]

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

AR 014914

COB_2100

AR011512

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Adam Rush <arush@banningca.gov>

Sent: Thursday, October 7, 2021 8:37 AM

To: James Wurtz <jwurtz@banningca.gov>

Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>

Subject: Re: Warehouse project behind Albertsons

James,

This the same project indeed and is being called the Banning Point project.

The implementing development is consistent with the recently amended Specific Plan Amendment. In fact, the proposed warehouse building is smaller than what the Specific Plan Amendment allows.

Planning staff has reviewed the environmental documents associated with the Design Review and also find them consistent. Lastly, the previously certified SEIR prepared a Health Risk Assessment and determined that health risks were not significant, over the aggregate and long term.

Lastly, it's important to note that this Project will be heard before the Planning Commission on October 19th. Public Hearing Property Owner Notification Letters will go out today and likely drop in mail boxes by Monday or Tuesday of next week.

Please let me know if you have any questions or need further clarification.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning

[99 Ramsey Street](#)

[Banning, CA, 92220](#)

Office: [\(951\) 922-3131](#)

Fax: [\(951\) 922-3128](#)

Cell: [Privacy](#)

Email: arush@banningca.gov

www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

AR 014915

COB_2101

AR011513

From: Jagger Everett
Sent: Thursday, October 7, 2021 10:51 AM PDT
To: Adam Rush
CC: 'Pam Steele'; Lisa Edwards
Subject: RE: Warehouse project behind Albertsons
Attachments: image001.jpg

Yes, Pam forwarded me that email. I believe the response to our environmental documents was extremely supportive. Please let me know how we can help communicate that message. Will it be necessary for someone from our development team to be present for the Planning Commission hearing?



Jagger Everett
Director of Development

O: 602.600.6363
M: 

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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From: Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 10:48 AM
To: Jagger Everett <jaggere@creationequity.com>
Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Thank you Jagger and you are very welcome!

I will need to coordinate with Pam on the environmental as the Sun Lakes news service is requesting some of the environmental documents.

AR 014916

COB_2102

AR011514

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

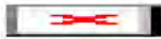
City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
Direct Fax: 951-922-3128
arush@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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From: Jagger Everett <jaggere@creationequity.com>
Sent: Thursday, October 7, 2021 9:41 AM
To: Adam Rush <arush@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Thank you, Adam, for keeping this moving! We should have our updated submittal in today.



Jagger Everett
Director of Development

O: 602.600.6363
M: [REDACTED]

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>
Subject: Re: Warehouse project behind Albertsons

AR 014917

COB_2103

AR011515

James,

This the same project indeed and is being called the Banning Point project.

The implementing development is consistent with the recently amended Specific Plan Amendment. In fact, the proposed warehouse building is smaller than what the Specific Plan Amendment allows.

Planning staff has reviewed the environmental documents associated with the Design Review and also find them consistent. Lastly, the previously certified SEIR prepared a Health Risk Assessment and determined that health risks were not significant, over the aggregate and long term.

Lastly, it's important to note that this Project will be heard before the Planning Commission on October 19th. Public Hearing Property Owner Notification Letters will go out today and likely drop in mail boxes by Monday or Tuesday of next week.

Please let me know if you have any questions or need further clarification.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)
Office: [\(951\) 922-3131](#)
Fax: [\(951\) 922-3128](#)
Cell: [Privacy](#)
Email: arush@banningca.gov
www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:

AR 014918

COB_2104

AR011516


From: Adam Rush
Sent: Thursday, October 7, 2021 11:07 AM PDT
To: 'Jagger Everett'
CC: 'Pam Steele'; Lisa Edwards
Subject: RE: Warehouse project behind Albertsons
Attachments: image001.jpg

Thank you Jagger. I'm confident that a Zoom participation is perfectly fine. However, I will ask a member of my contract planning staff, Mr. Ernie Perea, who was the primary writer of the Specific Plan Amendment EIR on the Zoom as well.

Lastly, I would **highly recommend** that BOTH your Traffic and Air Quality/GHG Consultant be available to participate virtually as well. This may be Haseeb or Aric, or both.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: 
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From: Jagger Everett <jaggere@creationequity.com>
Sent: Thursday, October 7, 2021 10:51 AM
To: Adam Rush <arush@banningca.gov>
Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>
Subject: RE: Warehouse project behind Albertsons

Yes, Pam forwarded me that email. I believe the response to our environmental documents was extremely supportive. Please let me know how we can help communicate that message. Will it be necessary for someone from our development team to be present for the Planning Commission hearing?



Jagger Everett
Director of Development

AR 014919

COB_2105

AR011517

O: 602.600.6363

M: Privacy

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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Adam Rush <arush@banningca.gov>

Sent: Thursday, October 7, 2021 10:48 AM

To: Jagger Everett <jaggere@creationequity.com>

Cc: 'Pam Steele' <pams@migcom.com>; Lisa Edwards <ledwards@banningca.gov>

Subject: RE: Warehouse project behind Albertsons

Thank you Jagger and you are very welcome!

I will need to coordinate with Pam on the environmental as the Sun Lakes news service is requesting some of the environmental documents.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
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From: Jagger Everett <jaggere@creationequity.com>

Sent: Thursday, October 7, 2021 9:41 AM

To: Adam Rush <arush@banningca.gov>

Subject: RE: Warehouse project behind Albertsons

Thank you, Adam, for keeping this moving! We should have our updated submittal in today.

AR 014920

COB_2106

AR011518



Jagger Everett
Director of Development

O: 602.600.6363

M: 

jaggere@creationequity.com
www.creationequity.com

1200 N. 52nd St., Phoenix, AZ 85008

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Adam Rush <arush@banningca.gov>

Sent: Thursday, October 7, 2021 8:37 AM

To: James Wurtz <jwurtz@banningca.gov>

Cc: Doug Schulze <dschulze@banningca.gov>; Lisa Edwards <ledwards@banningca.gov>; Sandra Calderon <scalderon@banningca.gov>; Arturo Vela <avela@banningca.gov>

Subject: Re: Warehouse project behind Albertsons

James,

This the same project indeed and is being called the Banning Point project.

The implementing development is consistent with the recently amended Specific Plan Amendment. In fact, the proposed warehouse building is smaller than what the Specific Plan Amendment allows.

Planning staff has reviewed the environmental documents associated with the Design Review and also find them consistent. Lastly, the previously certified SEIR prepared a Health Risk Assessment and determined that health risks were not significant, over the aggregate and long term.

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Please let me know if you have any questions or need further clarification.

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director

City of Banning
[99 Ramsey Street](#)
[Banning, CA, 92220](#)

AR 014921

COB_2107

AR011519

Office: [\(951\) 922-3131](tel:(951)922-3131)

Fax: [\(951\) 922-3128](tel:(951)922-3128)

Cell: Privacy

Email: arush@banningca.gov

www.banningca.gov

On Oct 7, 2021, at 8:21 AM, James Wurtz <jwurtz@banningca.gov> wrote:



AR 014922

COB_2108

AR011520

From: Adam Rush
Sent: Thursday, October 7, 2021 2:26 PM PDT
To: James Wurtz
Subject: Documents for Banning Point Project - North of Sun Lakes Blvd.
Attachments: 2020_0226 Banning CA-Neighborhood Meeting Package.pdf, Final Sun Lakes Village North SPA 12-18-2020.pdf, image001.gif, image002.jpg
Importance: High

James,

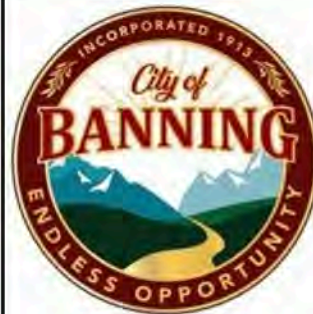
Here are the requested exhibits and plans. Please pick and choose which pages you wish to distribute. If you have Adobe Professional, you can extract out individual pages.

Will you be sending these to Art Welch and Councilmember Hamlin?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: Privacy
Direct Fax: 951-922-3128
arush@banningca.gov
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AR 014923

COB_2109

AR011521

From: James Wurtz
Sent: Thursday, October 7, 2021 2:33 PM PDT
To: Privacy
Subject: FW: Documents for Banning Point Project - North of Sun Lakes Blvd.
Attachments: 2020_0226 Banning CA-Neighborhood Meeting Package.pdf, Final Sun Lakes Village North SPA 12-18-2020.pdf, image001.gif, image002.jpg
Importance: High

Good to see you today. 1st attachment is best for illustrative purposes.

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: Privacy
jwurtz@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
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From: Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 2:26 PM
To: James Wurtz <jwurtz@banningca.gov>
Subject: Documents for Banning Point Project - North of Sun Lakes Blvd.
Importance: High

James,

Here are the requested exhibits and plans. Please pick and choose which pages you wish to distribute. If you have Adobe Professional, you can extract out individual pages.

Will you be sending these to Art Welch and Councilmember Hamlin?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

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Direct Fax: 951-922-3128
arush@banningca.gov
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Banning, CA 92220



AR 014924

COB_2110

AR011522

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AR 014925

COB_2111

AR011523

From: James Wurtz
Sent: Thursday, October 7, 2021 2:34 PM PDT
To: Mary Hamlin
Subject: FW: Documents for Banning Point Project - North of Sun Lakes Blvd.
Attachments: 2020_0226 Banning CA-Neighborhood Meeting Package.pdf, Final Sun Lakes Village North SPA 12-18-2020.pdf, image001.gif, image002.jpg
Importance: High

Sorry. 1st attachment is best.

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: Privacy
jwurtz@banningca.gov
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Banning, CA 92220
www.banningca.gov



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From: James Wurtz
Sent: Thursday, October 7, 2021 2:32 PM
To: Mary Hamlin <mhamlin@banningca.gov>
Subject: FW: Documents for Banning Point Project - North of Sun Lakes Blvd.
Importance: High

Councilmember Hamlin. Please see attached. 2nd attachment is most relevant.

JW

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: Privacy
jwurtz@banningca.gov
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AR 014926

COB_2112

AR011524

responsible for delivering the message to the intended recipient, if you have received this communication in error, please notify us immediately by telephone. Thank you.

From: Adam Rush <arush@banningca.gov>
Sent: Thursday, October 7, 2021 2:26 PM
To: James Wurtz <jwurtz@banningca.gov>
Subject: Documents for Banning Point Project - North of Sun Lakes Blvd.
Importance: High

James,

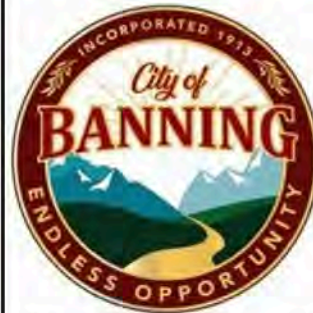
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Will you be sending these to Art Welch and Councilmember Hamlin?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: [REDACTED]
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arush@banningca.gov
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AR 014927

COB_2113

AR011525

From: James Wurtz <jwurtz@banningca.gov>
Sent: Thursday, October 7, 2021 2:34 PM
To: Art Welch (artlwelch@gmail.com)
Subject: FW: Documents for Banning Point Project - North of Sun Lakes Blvd.
Attachments: 2020_0226 Banning CA-Neighborhood Meeting Package.pdf; Final Sun Lakes Village North SPA 12-18-2020.pdf

Importance: High

Good to see you today. 1st attachment is best for illustrative purposes.

James Wurtz
Economic Development Manager
City Manager's Office
City of Banning
Direct Line: 951-922-3181
Cell Phone: 909-222-8235
jwurtz@banningca.gov
99 E. Ramsey Street
Banning, CA 92220
www.banningca.gov



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Importance: High

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Will you be sending these to Art Welch and Councilmember Hamlin?

Sincerely,

Adam B. Rush, M.A., AICP
Community Development Director
Community Development Department

City of Banning
Direct Line: 951-922-3131
Cell Line: 760-219-2791



Direct Fax: 951-922-3128

arush@banningca.gov

99 E. Ramsey Street

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Banning Point

PRELIMINARY SITE PLAN

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1"=150'-0"

0 75 150 300



LGE

DESIGNBUILD

1



2



3



4







ALAMO DRAFT HOUSE @ THE COLLECTIVE



THE GROVE



HERITAGE MARKETPLACE



OVERSTREET



CROWN CASTLE



CRESCENT CROWN



CHANDLER CORPORATE CENTER



TYR TACTICAL